

# PROPOSED SUBDIVISION OF LAND

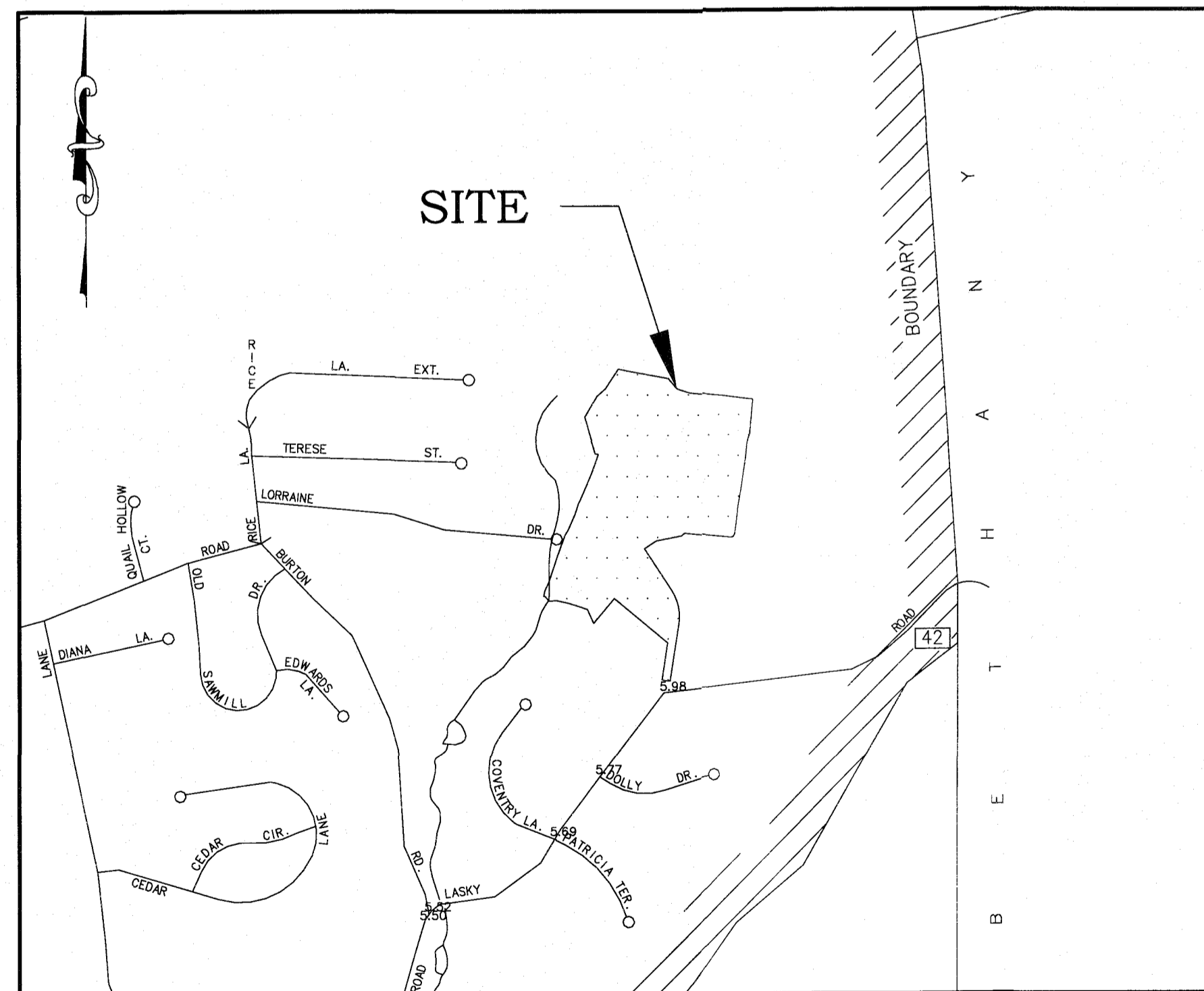
30 LORRAINE DRIVE  
BEACON FALLS, CONNECTICUT

*SUBDIVISION PLAN DRAWINGS*

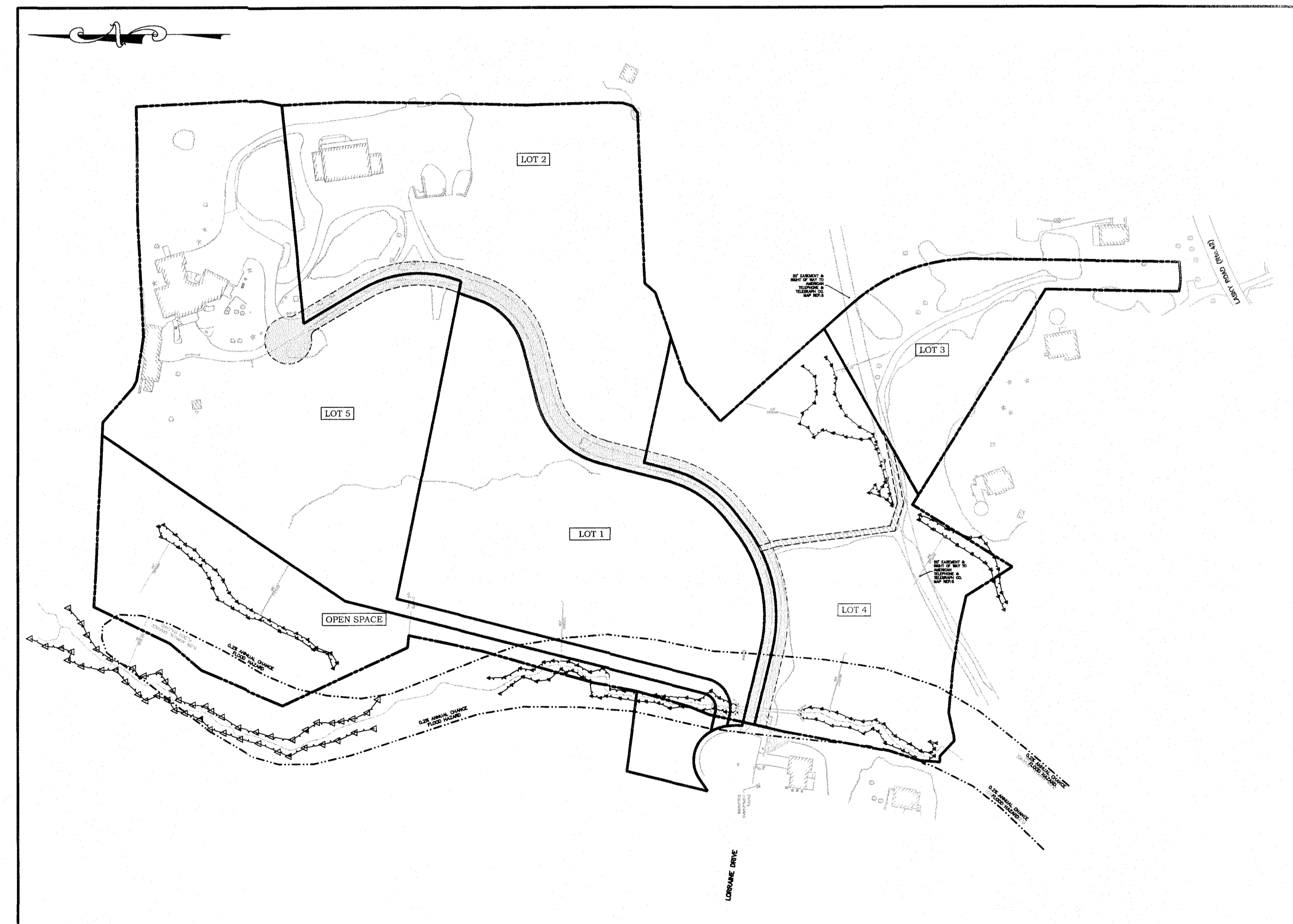
ZONE: R-1

## DRAWING LIST

SHEET #	DRAWING TITLE
01-01	COVER SHEET
03-01	EXISTING CONDITIONS PLAN
09-01	SUBDIVISION PLAN
11-01	SITE DEVELOPMENT PLAN
13-01	SOIL EROSION & SEDIMENT CONTROL PLAN
20-01	CONSTRUCTION NOTES & DETAILS



LOCATION MAP  
SCALE: 1"=800'



PLAN  
SCALE: 1"=150'

No.	Date	REVISION DESCRIPTION

**OWNER**  
Estate of Edwards Charles  
Beacon Falls, Connecticut

**LAND SURVEYOR**  
Accurate Land Surveying LLC  
15 Research Drive, Suite 3  
Woodbridge, Connecticut 06525  
T: (203) 881-8145

**SITE ENGINEER**  
B&B Engineering LLC  
15 Research Drive, Suite 3  
Woodbridge, Connecticut 06525  
T: (203) 881-8145

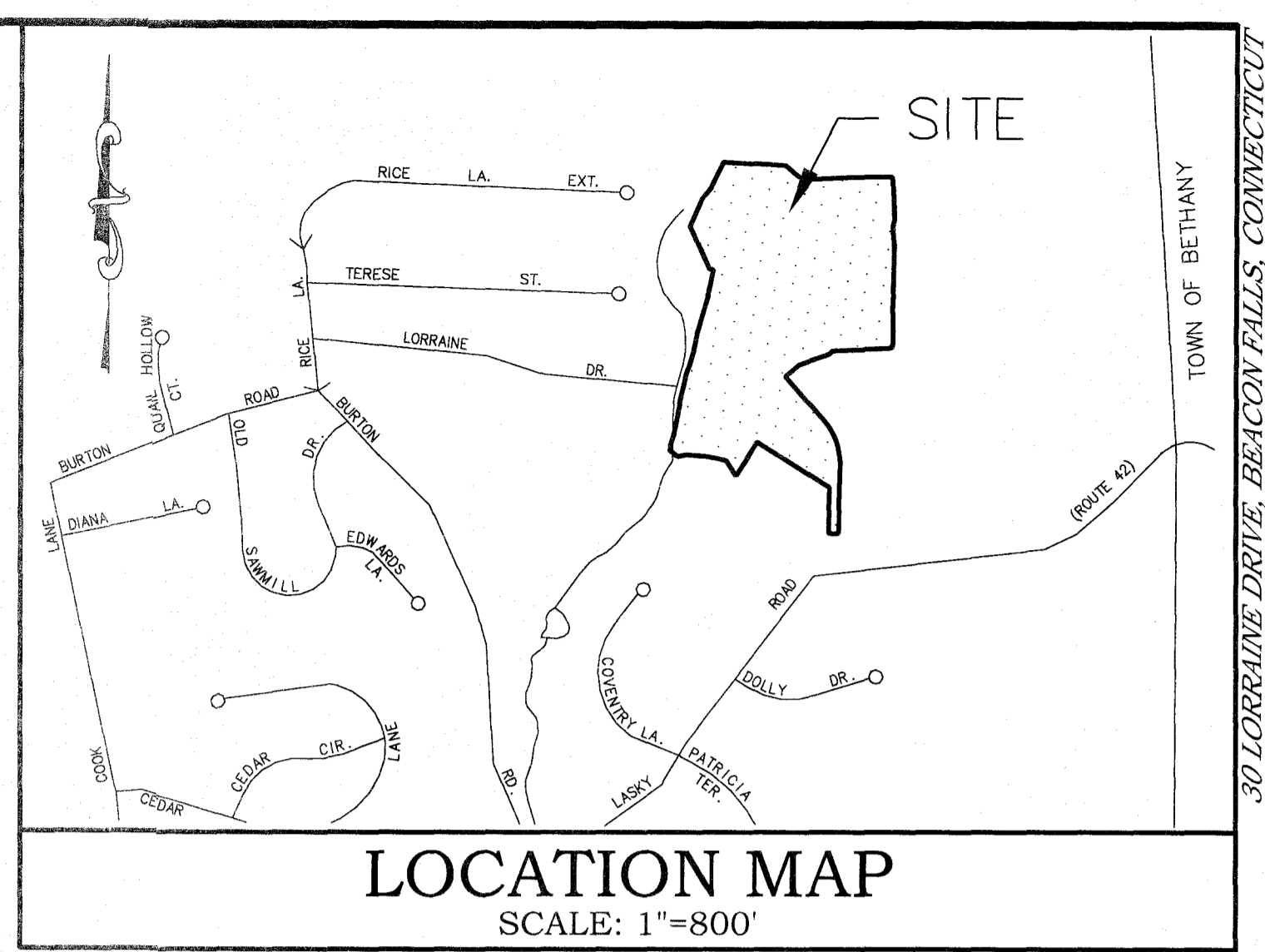
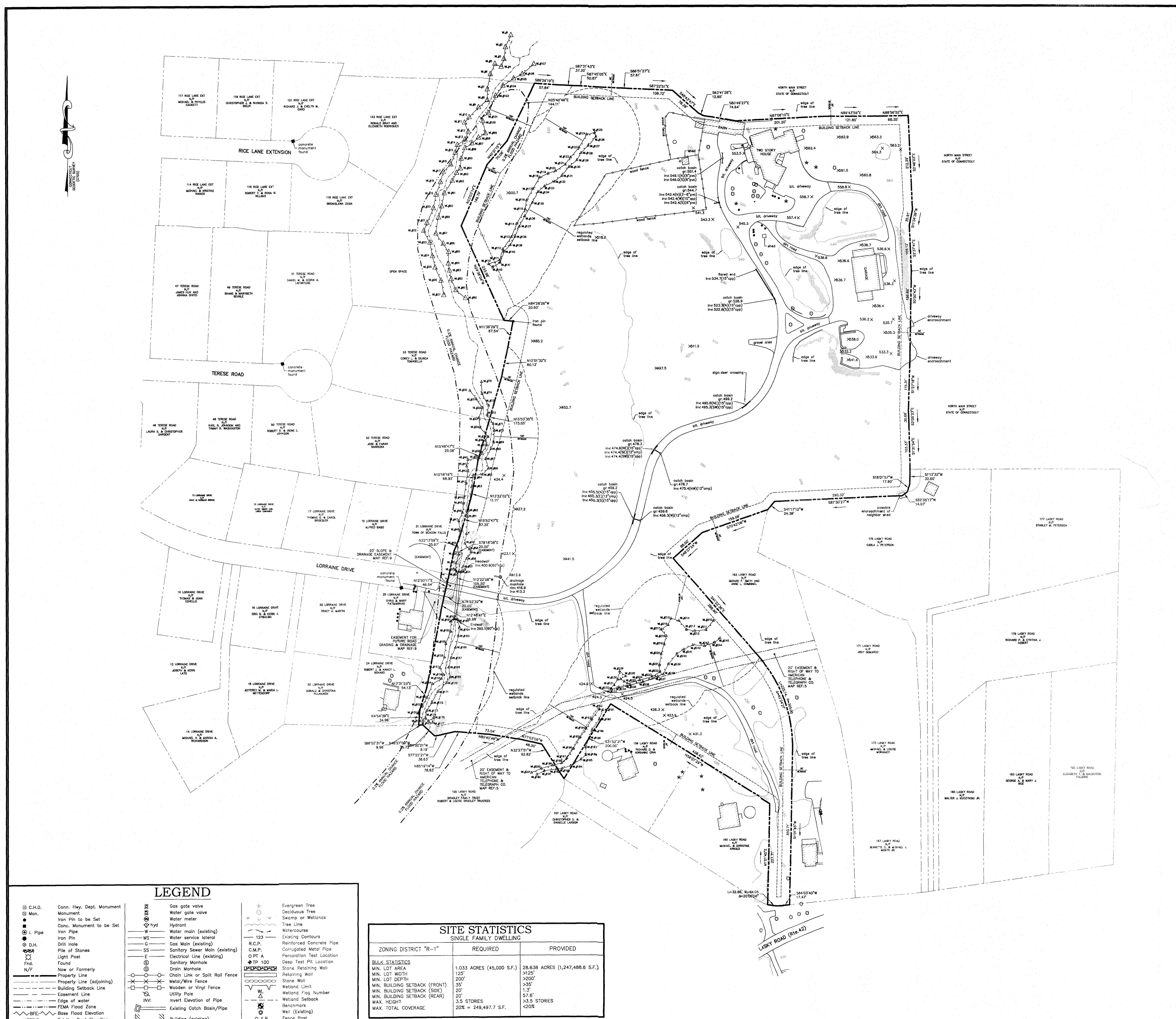
**SOIL SCIENTIST**  
William Kenny Associates LLC  
1899 Bronson Road  
Fairfield, Connecticut 06824  
T: (203) 845-0278

**ATTORNEY**  
Joseph Williams  
Shipman & Goodwin  
265 Church Street  
New Haven, Connecticut 06510  
T: (203) 836-2804



15 Research Drive  
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P: (203) 881-8145  
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Land Surveying, Professional Engineering & Land Use Consultants

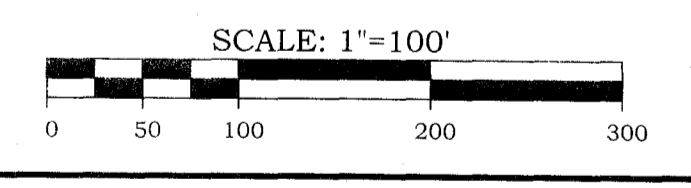


- ### GENERAL SURVEY NOTES
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, EFFECTIVE OCTOBER 26, 2018, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
  - THE BOUNDARY DETERMINATION SHOWN HEREON IS CONSIDERED A RESURVEY.
  - THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO CLASS V-2 STANDARDS. TOPOGRAPHICAL DATA OBTAINED FROM A PHOTODIAGRAMMETRIC SURVEY MAP HAVING ASPRS/ANAS CLASS 2 ACCURACY, PROVIDED BY GOLDEN AERIAL SURVEYS, INC. THE DATE OF AERIAL PHOTOGRAPHY USED WAS APRIL 2016. CONTOURS AND ELEVATIONS REFER TO NAVD 88 DATUM.
  - BEARINGS, COORDINATES AND ELEVATIONS ARE DERIVED FROM THE CONNECTICUT GEODETIC SURVEY (CTS) USING GPS TECHNOLOGY AND CONVENTIONAL SURVEY METHODS.
  - THIS IS A PROPERTY SURVEY. THE PURPOSE OF WHICH IS TO SHOW EXISTING CONDITIONS.
  - PROPERTY IS ALSO KNOWN AS TOWN OF BEACON FALLS TAX LOT 1005, BLOCK 40 AS ASSESSORS MAP 39.
  - TOTAL AREA = 1,247,488.6 SQ.FT. OR 28.638 ACRES.  
TOTAL WETLAND AREA = 24,072.7 SQ.FT. OR 0.552 ACRES.  
TOTAL STEEP SLOPES AREA = 12,548 SQ.FT. OR 0.288 ACRES
  - PROPERTY LIES IN ZONING DISTRICT "R-1".
  - A PORTION OF THE PROPERTY LIES WITHIN THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE X (NO ELEV.) AS SHOWN ON FEMA FIRM MAP 0909020200B, EFFECTIVE DATE DECEMBER 17, 2010.
  - WETLANDS DELINEATED BY WILLIAM KENNY ASSOCIATES, JULY 30, 2021. FLAGS WERE LOCATED VIA CONVENTIONAL SURVEY METHODS.
  - THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.

- ### MAP REFERENCES
- PLAN ENTITLED "PREPARED FOR RONALD W. & REGINA W. SEVOLI", SCALE 1"=50', DATED: JUNE 21, 1972, BY RICHARD J. NOWAKOWSKI, ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP VOL. 6 PG. 44.
  - PLAN ENTITLED "MAP OF PROPOSED LOTS PREPARED FOR ENDEAVOR INVESTMENTS", SCALE 1"=50', DATED: APRIL 7, 1973, BY NOWAKOWSKI & O'BRYEN, ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP VOL. 6 PG. 6.
  - PLAN ENTITLED "MAP OF A PORTION OF LAND BELONGING TO LUDWIG P. O'EMCKE & RUTH O'EMCKE", SCALE 1"=30', DATED: NOVEMBER 1977, BY THE A.J. PATTON CO. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP VOL. 9 PG. 29.
  - PLAN ENTITLED "MAP OF LAND OF FRANKLIN R. O'EMCKE & BARBARA A. O'EMCKE", SCALE 1"=40', DATED: MARCH 3, 1982, BY THE A.J. PATTON CO. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP VOL. 10 PG. 8.
  - PLAN ENTITLED "MAP OF LAND OF RUTH E. O'EMCKE", SCALE 1"=60', DATED: SEPTEMBER 28, 1983, BY THE A.J. PATTON CO. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 37.
  - PLAN ENTITLED "SUBDIVISION MAP OF 163 LASKY ROAD ASSOCIATES", SCALE 1"=60', DATED: MAY 25, 1989, BY A M ENGINEERING P.C. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 22.
  - PLAN ENTITLED "LOTS 1-21 SECTION 1 SUBDIVISION MAP OF WOOD RIDGE", SCALE 1"=60', DATED: SEPTEMBER 6, 1989, BY A M ENGINEERING P.C. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 25.
  - PLAN ENTITLED "LOTS 22 THRU 31 SECTION 2 RESUBDIVISION MAP OF WOOD RIDGE", SCALE 1"=60', DATED: APRIL 9, 1999, BY A M ENGINEERING P.C. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 8.
  - PLAN ENTITLED "EASEMENT PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF C.B.L. INC.", SCALE 1"=60', DATED: JULY 21, 2006, BY A M ENGINEERING, ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 11.
  - PLAN ENTITLED "SUBDIVISION PLAN HIGHLAND ESTATES PREPARED FOR NCW DEVELOPMENT CORP.", SCALE 1"=80', DATED: APRIL 2, 2001, BY MEYERS ASSOCIATES P.C. ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE AS MAP 41.

- ### DEED REFERENCES
- DEED VOLUME 131 PAGES 17-19, ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE.
  - DEED VOLUME 133 PAGE 387, ON FILE IN THE TOWN OF BEACON FALLS CLERK'S OFFICE.

No.	Date	ADDED EASEMENTS AND MAP REF. 9	REVISION DESCRIPTION
1.	1/14/22		

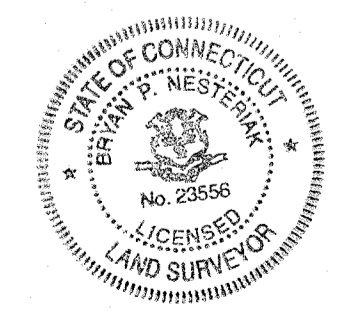


**ACCURATE LAND SURVEYING, LLC**  
 15 RESEARCH DRIVE, 501 MAIN STREET  
 WATERBURY, CT 06495  
 TEL: 203.881.8145 FAX: 203.880.5455

**EXISTING CONDITIONS PLAN**  
 OF  
**30 LORRAINE DR**  
 BEACON FALLS, CONNECTICUT  
 PREPARED FOR  
**ESTATE OF CHARLES EDWARDS**  
 BEACON FALLS, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date: 9/8/2021  
 Scale: 1"=100'  
 Job No.: 1136  
 Drawing No.: 03-01



### DRAWING LIST

SHEET #	DRAWING NAME
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	SITE DEVELOPMENT PLAN
5	SOIL EROSION & SEDIMENT CONTROL PLAN
6	CONSTRUCTION NOTES & DETAILS

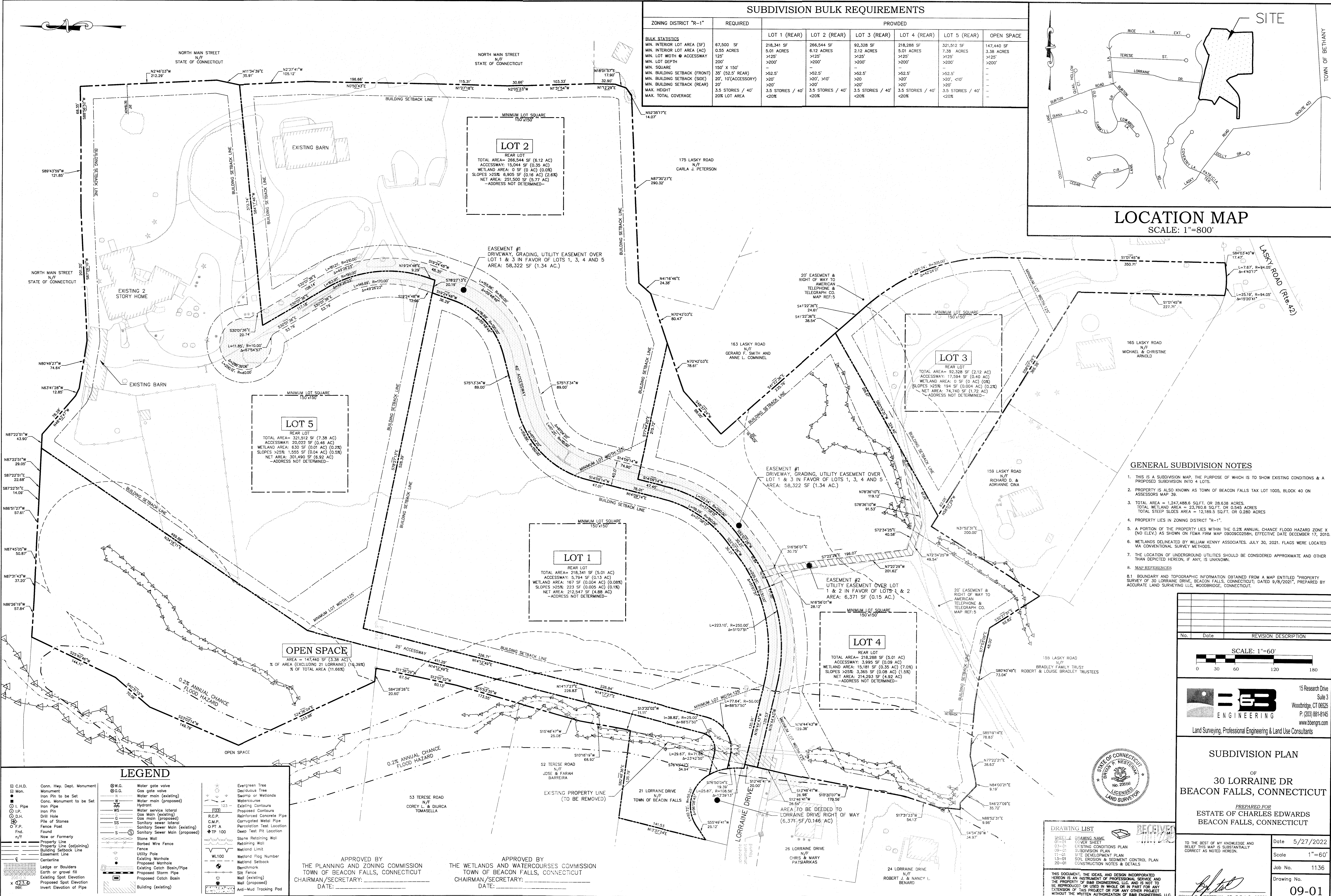
### SITE STATISTICS

SINGLE FAMILY DWELLING

ZONING DISTRICT "R-1"	REQUIRED	PROVIDED
<b>BULK STATISTICS</b>		
MIN. LOT AREA	1,033 ACRES (45,000 S.F.)	28,638 ACRES (1,247,488.6 S.F.)
MIN. LOT WIDTH	125'	>200'
MIN. LOT DEPTH	200'	>200'
MIN. BUILDING SETBACK (FRONT)	35'	>35'
MIN. BUILDING SETBACK (SIDE)	20'	1.3'
MIN. BUILDING SETBACK (REAR)	20'	57.6'
MAX. HEIGHT	3.5 STORES	>3.5 STORES
MAX. TOTAL COVERAGE	20% = 249,497.7 S.F.	<20%

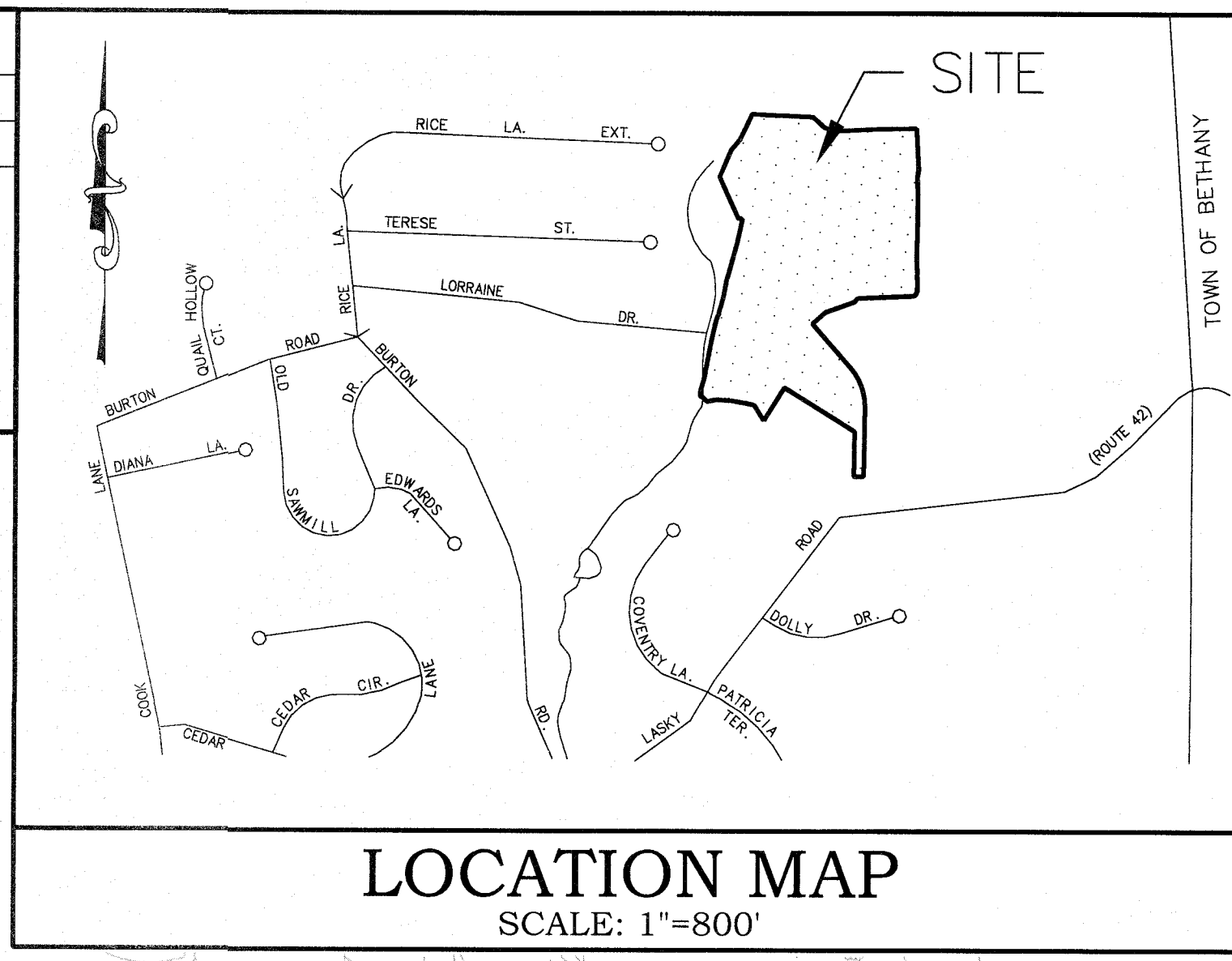
### LEGEND

<ul style="list-style-type: none"> <li>CH.D. Conn. Hwy. Dept. Monument</li> <li>Mon. Monument</li> <li>Iron Pin to be Set</li> <li>Conc. Monument to be Set</li> <li>Iron Pipe</li> <li>Iron Pin</li> <li>D.H. Drill Hole</li> <li>Light Post</li> <li>Found</li> <li>N/F Now or Formerly</li> <li>Property Line</li> <li>Property Line (adjoining)</li> <li>Building Setback Line</li> <li>Easement Line</li> <li>Edge of water</li> <li>FEMA Flood Zone</li> <li>Base Flood Elevation</li> <li>Existing Spot Elevation</li> </ul>	<ul style="list-style-type: none"> <li>Gas gate valve</li> <li>Water gate valve</li> <li>Water meter</li> <li>Hydrant</li> <li>Water main (existing)</li> <li>Water service lateral</li> <li>Gas Main (existing)</li> <li>Sanitary Sewer Main (existing)</li> <li>Electrical Line (existing)</li> <li>Sanitary Manhole</li> <li>Drain Manhole</li> <li>Chain Link or Split Roll Fence</li> <li>Water/Wire Fence</li> <li>Wooden or Vinyl Fence</li> <li>Utility Pole</li> <li>Invert Elevation of Pipe</li> <li>Existing Catch Basin/Pipe</li> <li>Building (existing)</li> </ul>	<ul style="list-style-type: none"> <li>Evergreen Tree</li> <li>Deciduous Tree</li> <li>Swamp or Wetlands</li> <li>Tree Line</li> <li>Watercourse</li> <li>Existing Contours</li> <li>Reinforced Concrete Pipe</li> <li>Corrugated Metal Pipe</li> <li>Perception Test Location</li> <li>Deep Test Pit Location</li> <li>Retaining Wall</li> <li>Stone Wall</li> <li>Wetland Limit</li> <li>Wetland Flag Number</li> <li>Wetland Setback</li> <li>Well (Existing)</li> <li>Fence Post</li> </ul>
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**SUBDIVISION BULK REQUIREMENTS**

ZONING DISTRICT "R-1"	REQUIRED	PROVIDED					
		LOT 1 (REAR)	LOT 2 (REAR)	LOT 3 (REAR)	LOT 4 (REAR)	LOT 5 (REAR)	OPEN SPACE
<b>BULK STATISTICS</b>							
MIN. INTERIOR LOT AREA (SF)	67,500 SF	218,341 SF	266,544 SF	92,328 SF	218,288 SF	321,512 SF	147,440 SF
MIN. INTERIOR LOT AREA (AC)	0.35 ACRES	5.01 ACRES	6.12 ACRES	2.12 ACRES	5.01 ACRES	7.38 ACRES	3.38 ACRES
MIN. LOT WIDTH @ ACCESSWAY	125'	>125'	>125'	>125'	>125'	>125'	>125'
MIN. LOT DEPTH	200'	>200'	>200'	>200'	>200'	>200'	>200'
MIN. SQUARE	150' X 150'	>552.5'	>552.5'	>552.5'	>552.5'	>552.5'	>552.5'
MIN. BUILDING SETBACK (FRONT)	35' (52.5' REAR)	>20'	>20'	>20'	>20'	>20'	>20'
MIN. BUILDING SETBACK (SIDE)	20', 10'(ACCESSORY)	>20'	>20'	>20'	>20'	>20'	>20'
MIN. BUILDING SETBACK (REAR)	20'	>20'	>20'	>20'	>20'	>20'	>20'
MAX. HEIGHT	3.5 STORIES / 40'	3.5 STORIES / 40'	3.5 STORIES / 40'	3.5 STORIES / 40'	3.5 STORIES / 40'	3.5 STORIES / 40'	3.5 STORIES / 40'
MAX. TOTAL COVERAGE	20% LOT AREA	<20%	<20%	<20%	<20%	<20%	<20%



**LOCATION MAP**  
SCALE: 1"=800'

**GENERAL SUBDIVISION NOTES**

- THIS IS A SUBDIVISION MAP, THE PURPOSE OF WHICH IS TO SHOW EXISTING CONDITIONS & A PROPOSED SUBDIVISION INTO 4 LOTS.
- PROPERTY IS ALSO KNOWN AS TOWN OF BEACON FALLS TAX LOT 1005, BLOCK 40 ON ASSESSORS MAP 39.
- TOTAL AREA = 1,247,488.6 SQ.FT. OR 28.638 ACRES.  
TOTAL WETLAND AREA = 23,760.8 SQ.FT. OR 0.545 ACRES  
TOTAL STEEP SLOPE AREA = 12,189.5 SQ.FT. OR 0.280 ACRES
- PROPERTY LIES IN ZONING DISTRICT "R-1".
- A PORTION OF THE PROPERTY LIES WITHIN THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE X (NO ELEV.) AS SHOWN ON FEMA FIRM MAP 09060C0228H, EFFECTIVE DATE DECEMBER 17, 2010.
- WETLANDS DELINEATED BY WILLIAM KENNY ASSOCIATES, JULY 30, 2021. FLAGS WERE LOCATED VIA CONVENTIONAL SURVEY METHODS.
- THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
- MAP REFERENCES
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A MAP ENTITLED "PROPERTY SURVEY OF 30 LORRAINE DRIVE, BEACON FALLS, CONNECTICUT", DATED 9/8/2021, PREPARED BY ACCURATE LAND SURVEYING LLC, WOODBRIDGE, CONNECTICUT.

No.	Date	REVISION DESCRIPTION

SCALE: 1"=60'

**B&B ENGINEERING**  
15 Research Drive, Suite 3  
Woodbridge, CT 06225  
P: (203) 861-8145  
www.bbeeng.com  
Land Surveying, Professional Engineering & Land Use Consultants

**SUBDIVISION PLAN**  
OF  
**30 LORRAINE DR**  
BEACON FALLS, CONNECTICUT  
PREPARED FOR  
**ESTATE OF CHARLES EDWARDS**  
BEACON FALLS, CONNECTICUT

APPROVED BY THE PLANNING AND ZONING COMMISSION TOWN OF BEACON FALLS, CONNECTICUT  
CHAIRMAN/SERATARY: DATE: \_\_\_\_\_

APPROVED BY THE WETLANDS AND WATERCOURSES COMMISSION TOWN OF BEACON FALLS, CONNECTICUT  
CHAIRMAN/SERATARY: DATE: \_\_\_\_\_

**DRAWING LIST**

01-01	COVER SHEET
02-01	EXISTING CONDITIONS PLAN
03-01	SUBDIVISION PLAN
04-01	SITE DEVELOPMENT PLAN
05-01	SOIL EROSION & SEDIMENT CONTROL PLAN
06-01	CONSTRUCTION NOTES & DETAILS

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date: 5/27/2022  
Scale: 1"=60'  
Job No.: 1136  
Drawing No.: 09-01

THIS DOCUMENT, THE IDEAS AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF B&B ENGINEERING, LLC, AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT OR FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF B&B ENGINEERING, LLC.

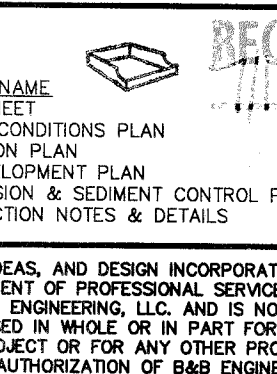
BRYAN P. NESTERIAK, CT. P.E., L.S. 23556

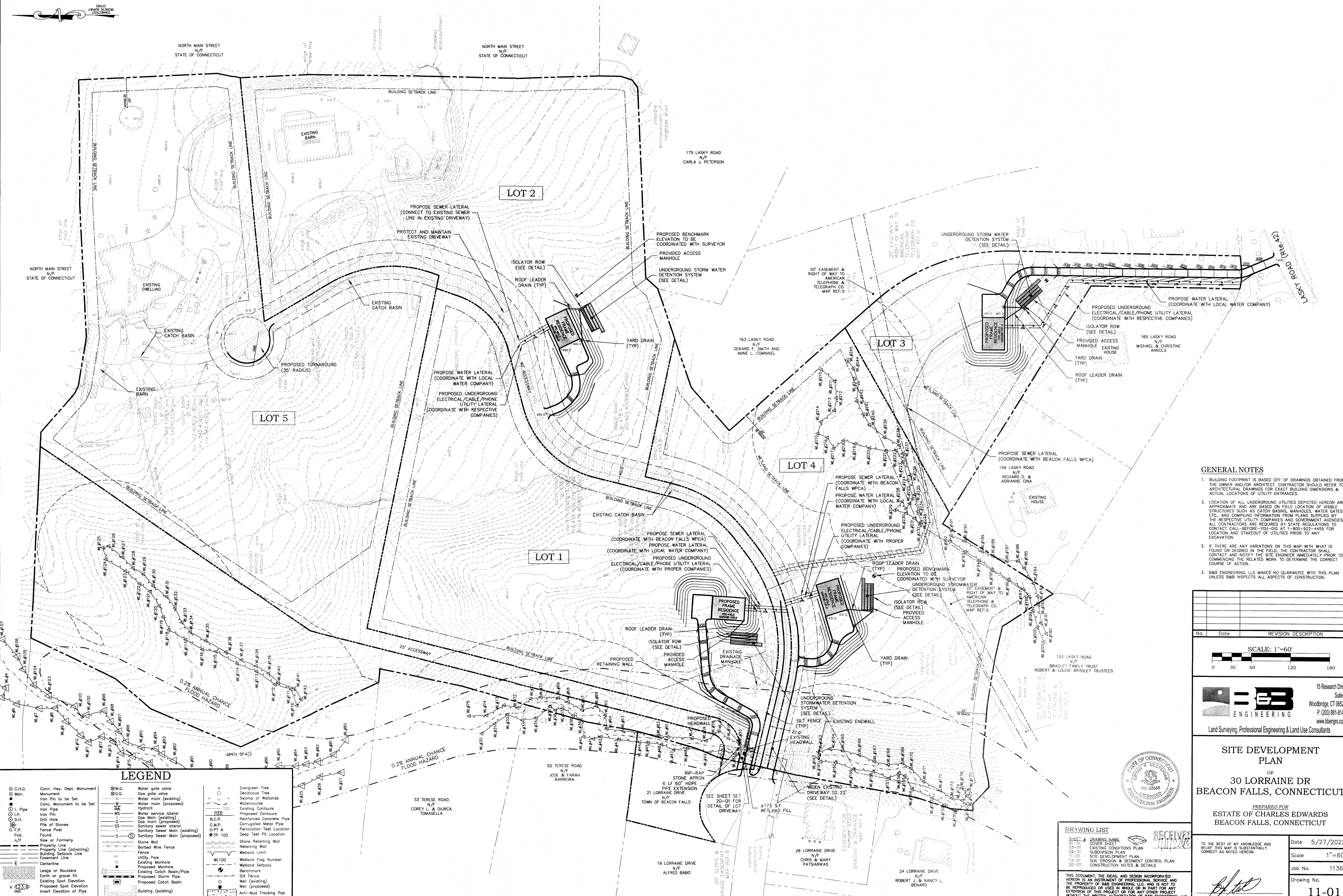
**LEGEND**

<ul style="list-style-type: none"> <li>CH.D. Conn. Hwy. Dept. Monument</li> <li>Mon. Monument</li> <li>Iron Pin to be Set</li> <li>Conc. Monument to be Set</li> <li>Iron Pipe</li> <li>Iron Pin</li> <li>Drill Hole</li> <li>Pile of Stones</li> <li>Fence Post</li> <li>Fnd. Found</li> <li>Now or Formerly</li> <li>Property Line</li> <li>Property Line (adjoining)</li> <li>Building Setback Line</li> <li>Easement Line</li> <li>Centerline</li> <li>Ledge or Boulders</li> <li>Earth or gravel fill</li> <li>Existing Spot Elevation</li> <li>Proposed Spot Elevation</li> <li>Invert Elevation of Pipe</li> </ul>	<ul style="list-style-type: none"> <li>Water gate valve</li> <li>Gas gate valve</li> <li>Water main (existing)</li> <li>Water main (proposed)</li> <li>Hydrant</li> <li>Water service lateral</li> <li>Gas Main (existing)</li> <li>Gas main (proposed)</li> <li>Sanitary sewer lateral</li> <li>Sanitary Sewer Main (existing)</li> <li>Sanitary Sewer Main (proposed)</li> <li>Stone Wall</li> <li>Barbed Wire Fence</li> <li>Fence</li> <li>Utility Pole</li> <li>Existing Manhole</li> <li>Proposed Manhole</li> <li>Proposed Storm Pipe</li> <li>Proposed Catch Basin</li> <li>Building (existing)</li> </ul>	<ul style="list-style-type: none"> <li>Evergreen Tree</li> <li>Deciduous Tree</li> <li>Swamp or Wetlands</li> <li>Watercourse</li> <li>Existing Contours</li> <li>Proposed Contours</li> <li>Reinforced Concrete Pipe</li> <li>Corrugated Metal Pipe</li> <li>Percolation Test Location</li> <li>Deep Test Pit Location</li> <li>Stone Retaining Wall</li> <li>Retaining Wall</li> <li>Wetland Flag Number</li> <li>Wetland</li> <li>Wetland Setback</li> <li>Benchmark</li> <li>Well (existing)</li> <li>Well (proposed)</li> <li>Anti-Mud Tracking Pad</li> </ul>
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APPROVED BY THE PLANNING AND ZONING COMMISSION TOWN OF BEACON FALLS, CONNECTICUT  
CHAIRMAN/SERATARY: DATE: \_\_\_\_\_

APPROVED BY THE WETLANDS AND WATERCOURSES COMMISSION TOWN OF BEACON FALLS, CONNECTICUT  
CHAIRMAN/SERATARY: DATE: \_\_\_\_\_





**GENERAL NOTES**

- BUILDING FOOTPRINT IS BASED OFF OF DRAWINGS OBTAINED FROM THE OWNER AND/OR ARCHITECT. CONTRACTOR SHOULD REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS & ACTUAL LOCATIONS OF UTILITY ENTRANCES.
- LOCATION OF ALL UNDERGROUND UTILITIES DEPICTED HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS ARE REQUIRED BY STATE REGULATIONS TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND STAKEOUT OF UTILITIES PRIOR TO ANY EXCAVATION.
- IF THERE ARE ANY VARIATIONS ON THIS MAP WITH WHAT IS FOUND OR DESIRED IN THE FIELD, THE CONTRACTOR SHALL CONTACT AND NOTIFY THE SITE ENGINEER IMMEDIATELY PRIOR TO COMMENCING THE RELATED WORK TO DETERMINE THE CORRECT COURSE OF ACTION.
- B&B ENGINEERING, LLC MAKES NO GUARANTEE WITH THIS PLAN UNLESS B&B INSPECTS ALL ASPECTS OF CONSTRUCTION.

No.	Date	REVISION DESCRIPTION

SCALE: 1"=60'

**B&B ENGINEERING**  
 15 Research Drive, Suite 3  
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 P: (203) 861-6145  
 www.bbangs.com  
 Land Surveying, Professional Engineering & Land Use Consultants

**SITE DEVELOPMENT PLAN**  
 OF  
**30 LORRAINE DR**  
**BEACON FALLS, CONNECTICUT**  
 PREPARED FOR  
**ESTATE OF CHARLES EDWARDS**  
**BEACON FALLS, CONNECTICUT**

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date 5/27/2022  
 Scale 1"=60'  
 Job No. 1136  
 Drawing No. **11-01**

**LEGEND**

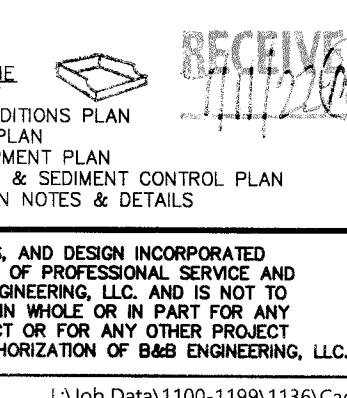
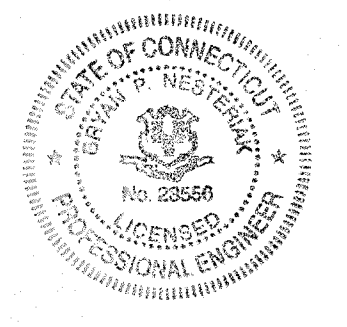
<ul style="list-style-type: none"> <li>Conn. Hwy. Dept. Monument</li> <li>Monument</li> <li>Iron Pin to be Set</li> <li>Conc. Monument to be Set</li> <li>Iron Pin</li> <li>Drill Hole</li> <li>File of Stones</li> <li>Fence Post</li> <li>Found</li> <li>Now or Formerly</li> <li>Property Line</li> <li>Property Line (adjoining)</li> <li>Building Setback Line</li> <li>Easement Line</li> <li>Centerline</li> <li>Ledge or Boulders</li> <li>Earth or gravel fill</li> <li>Existing Spot Elevation</li> <li>Proposed Spot Elevation</li> <li>Invert Elevation of Pipe</li> </ul>	<ul style="list-style-type: none"> <li>Water gate valve</li> <li>Gas gate valve</li> <li>Water main (existing)</li> <li>Water main (proposed)</li> <li>Hydrant</li> <li>Water service lateral</li> <li>Gas Main (existing)</li> <li>Gas main (proposed)</li> <li>Sanitary sewer lateral</li> <li>Sanitary Sewer Main (existing)</li> <li>Sanitary Sewer Main (proposed)</li> <li>Stone Wall</li> <li>Barbed Wire Fence</li> <li>Fence</li> <li>Utility Pole</li> <li>Existing Manhole</li> <li>Proposed Manhole</li> <li>Existing Catch Basin/Pipe</li> <li>Proposed Storm Pipe</li> <li>Proposed Catch Basin</li> <li>Building (existing)</li> </ul>	<ul style="list-style-type: none"> <li>Evergreen Trees</li> <li>Deciduous Tree</li> <li>Swamp or Wetlands</li> <li>Watercourse</li> <li>Existing Contours</li> <li>Proposed Contours</li> <li>Reinforced Concrete Pipe</li> <li>Corrugated Metal Pipe</li> <li>Percolation Test Location</li> <li>Deep Test Pit Location</li> <li>Stone Retaining Wall</li> <li>Retaining Wall</li> <li>Wetland Limit</li> <li>Wetland Flag Number</li> <li>Wetland Setback</li> <li>Benchmark</li> <li>Silt Fence</li> <li>Well (existing)</li> <li>Well (proposed)</li> <li>Anti-Mud Tracking Pad</li> </ul>
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**DRAWING LIST**

SHEET #	DRAWING NAME
01-01	COVER SHEET
02-01	SUBDIVISION PLAN
03-01	EXISTING CONDITIONS PLAN
04-01	PROPOSED DEVELOPMENT PLAN
11-01	SITE DEVELOPMENT PLAN
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BRYAN P. NESTERAK, C.T., P.E., L.S. 23556





**LEGEND**

<ul style="list-style-type: none"> <li>□ C.H.D.</li> <li>● Mon.</li> <li>○ I. Pipe</li> <li>○ G. Pipe</li> <li>○ D.H.</li> <li>○ F.P.</li> <li>○ Fnd.</li> <li>○ n/f</li> <li>--- Property Line</li> <li>--- Property Line (adjoining)</li> <li>--- Building Setback Line</li> <li>--- Easement Line</li> <li>--- Centerline</li> <li>--- Ledge or Boulders</li> <li>--- Earth or gravel fill</li> <li>--- Existing Spot Elevation</li> <li>--- Proposed Spot Elevation</li> <li>--- Invert Elevation of Pipe</li> </ul>	<ul style="list-style-type: none"> <li>--- Conn. Hwy. Dept. Monument</li> <li>--- Iron Pin to be Set</li> <li>--- Conc. Monument to be Set</li> <li>--- Iron Pin</li> <li>--- Iron Pin</li> <li>--- Drill Hole</li> <li>--- Pile of Stones</li> <li>--- Fence Post</li> <li>--- Found</li> <li>--- Now or Formerly</li> <li>--- Property Line</li> <li>--- Building Setback Line</li> <li>--- Easement Line</li> <li>--- Centerline</li> <li>--- Ledge or Boulders</li> <li>--- Earth or gravel fill</li> <li>--- Existing Spot Elevation</li> <li>--- Proposed Spot Elevation</li> <li>--- Invert Elevation of Pipe</li> </ul>	<ul style="list-style-type: none"> <li>○ W.G.</li> <li>○ G.G.</li> <li>--- W</li> <li>--- HS</li> <li>--- SS</li> <li>○ S</li> <li>--- Stone Wall</li> <li>--- Barbed Wire Fence</li> <li>--- Fence</li> <li>--- Utility Pole</li> <li>--- Existing Manhole</li> <li>--- Proposed Manhole</li> <li>--- Existing Catch Basin/Pipe</li> <li>--- Proposed Storm Pipe</li> <li>--- Proposed Catch Basin</li> <li>--- Building (existing)</li> </ul>	<ul style="list-style-type: none"> <li>○ Evergreen Tree</li> <li>○ Deciduous Tree</li> <li>○ Swamp or Wetlands</li> <li>○ Watercourse</li> <li>--- Existing Contours</li> <li>--- Proposed Contours</li> <li>--- Reinforced Concrete Pipe</li> <li>--- Corrugated Metal Pipe</li> <li>○ Percussion Test Location</li> <li>○ Deep Test Pit Location</li> <li>○ W 100</li> <li>--- Stone Retaining Wall</li> <li>--- Retaining Wall</li> <li>--- Wetland Limit</li> <li>--- Wetland Flag Number</li> <li>--- Wetland Setback</li> <li>--- Benchmark</li> <li>--- Silt Fence</li> <li>--- Well (existing)</li> <li>--- Well (proposed)</li> <li>--- Anti-Mud Tracking Pad</li> </ul>
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No.	Date	REVISION DESCRIPTION

SCALE: 1"=60'

0 30 60 120 180

**EB ENGINEERING**

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www.ebengr.com

Land Surveying, Professional Engineering & Land Use Consultants

**SOIL EROSION & SEDIMENT CONTROL**

OF

**30 LORRAINE DR**

BEACON FALLS, CONNECTICUT

PREPARED FOR

**ESTATE OF CHARLES EDWARDS**

BEACON FALLS, CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date 5/27/2022

Scale 1"=60'

Job No. 1136

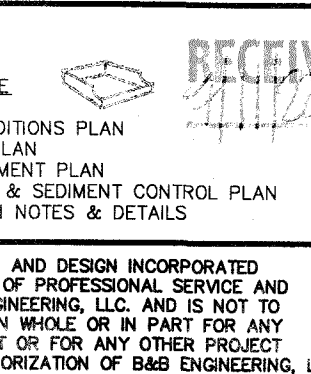
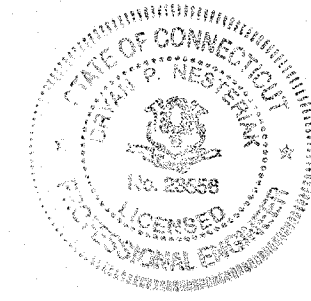
Drawing No. 13-01

**DRAWING LIST**

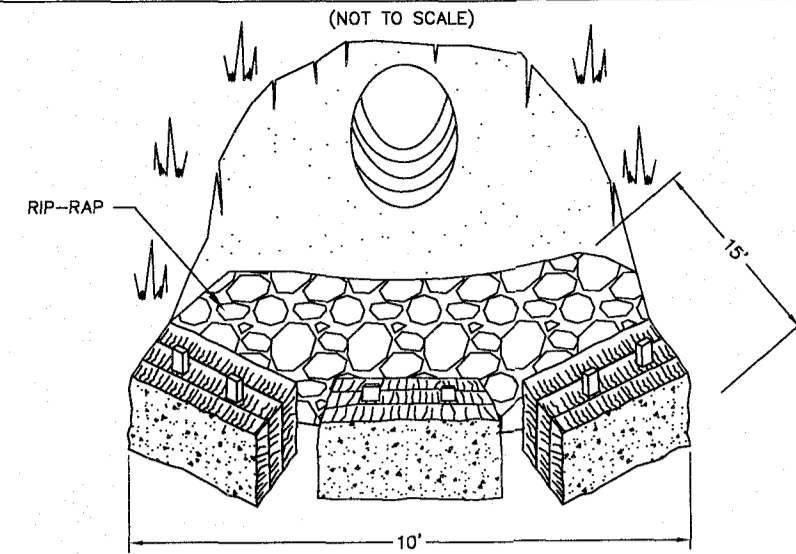
SHEET #	DRAWING NAME
0-01	COVER SHEET
03-01	EXISTING CONDITIONS PLAN
09-01	SUBDIVISION PLAN
11-01	SITE DEVELOPMENT PLAN
13-01	SOIL EROSION & SEDIMENT CONTROL PLAN
20-01	CONSTRUCTION NOTES & DETAILS

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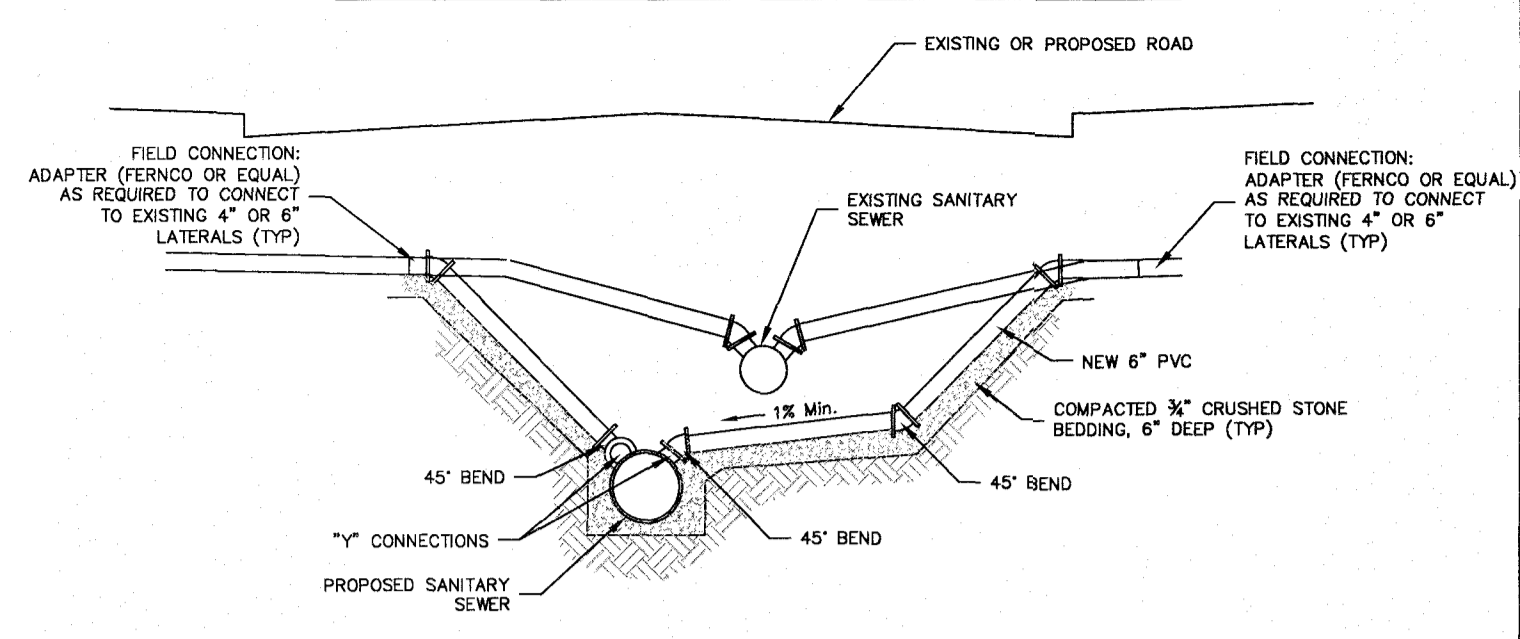
BRYAN P. NESTERIAK, CT. P.E., L.S. 23556



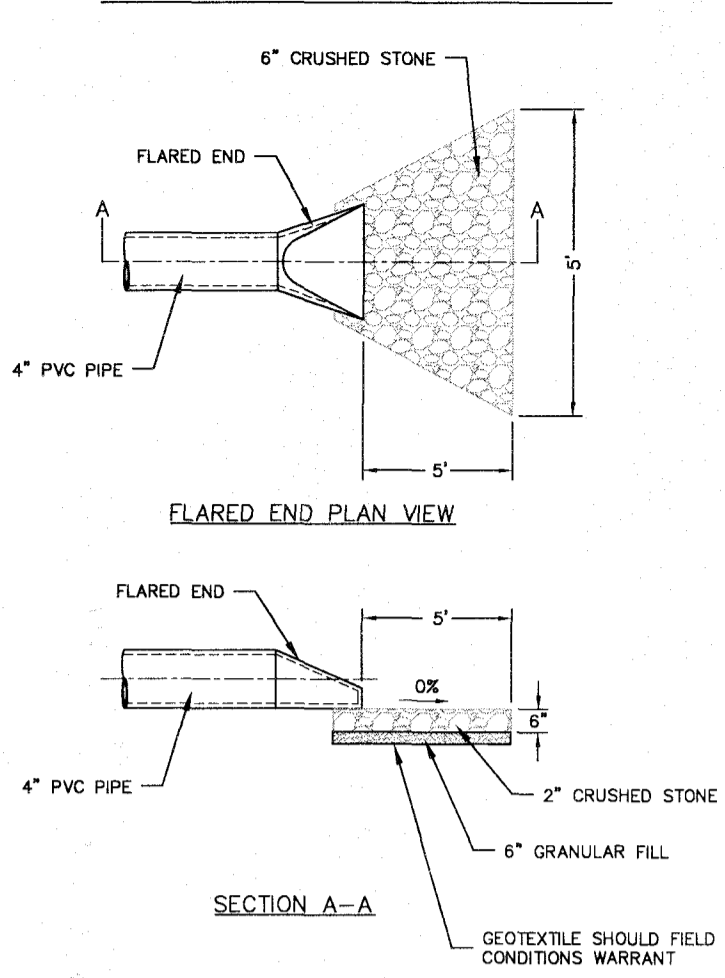
### EROSION CONTROL FOR CULVERT OUTLET



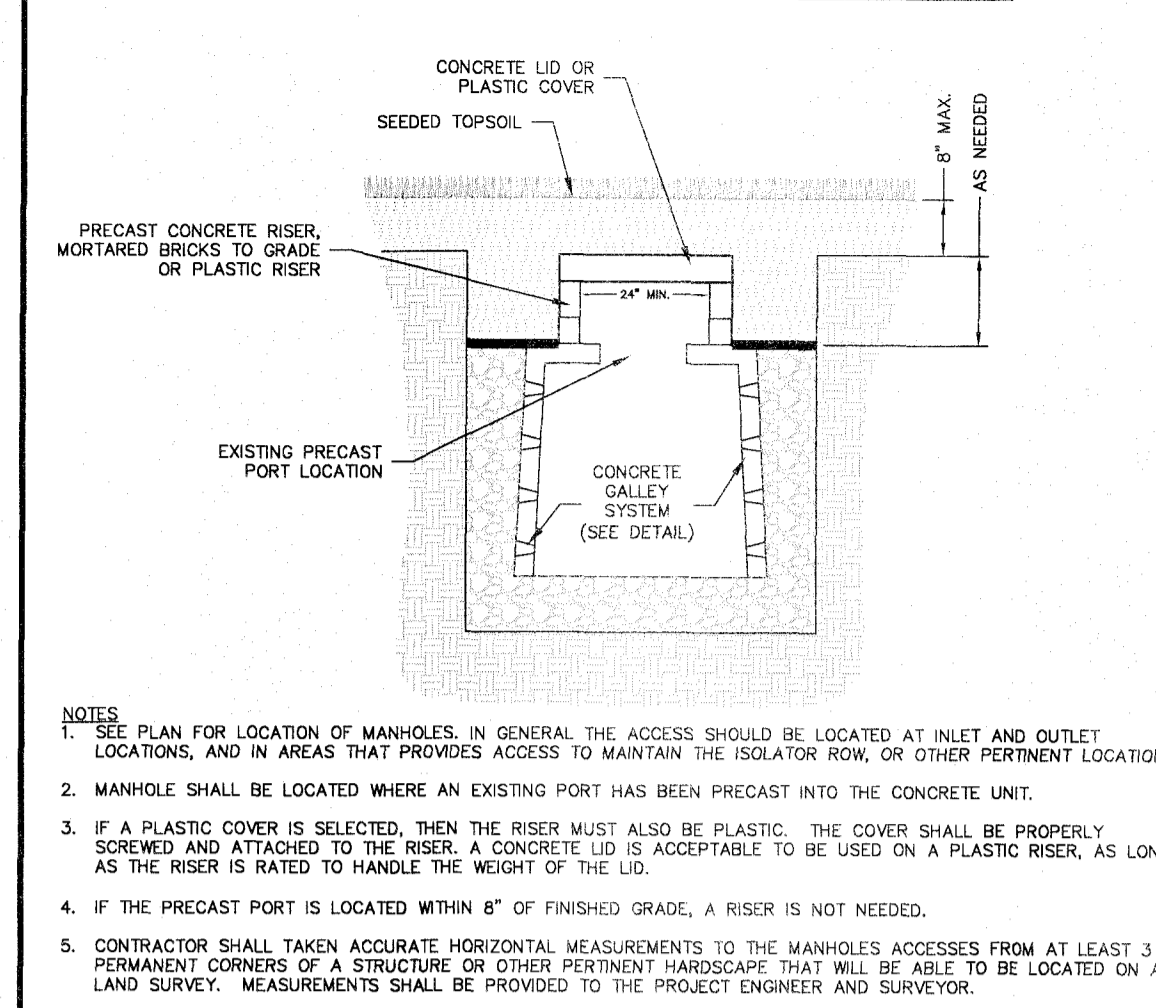
### SERVICE LATERAL CONNECTION - TYPE 1



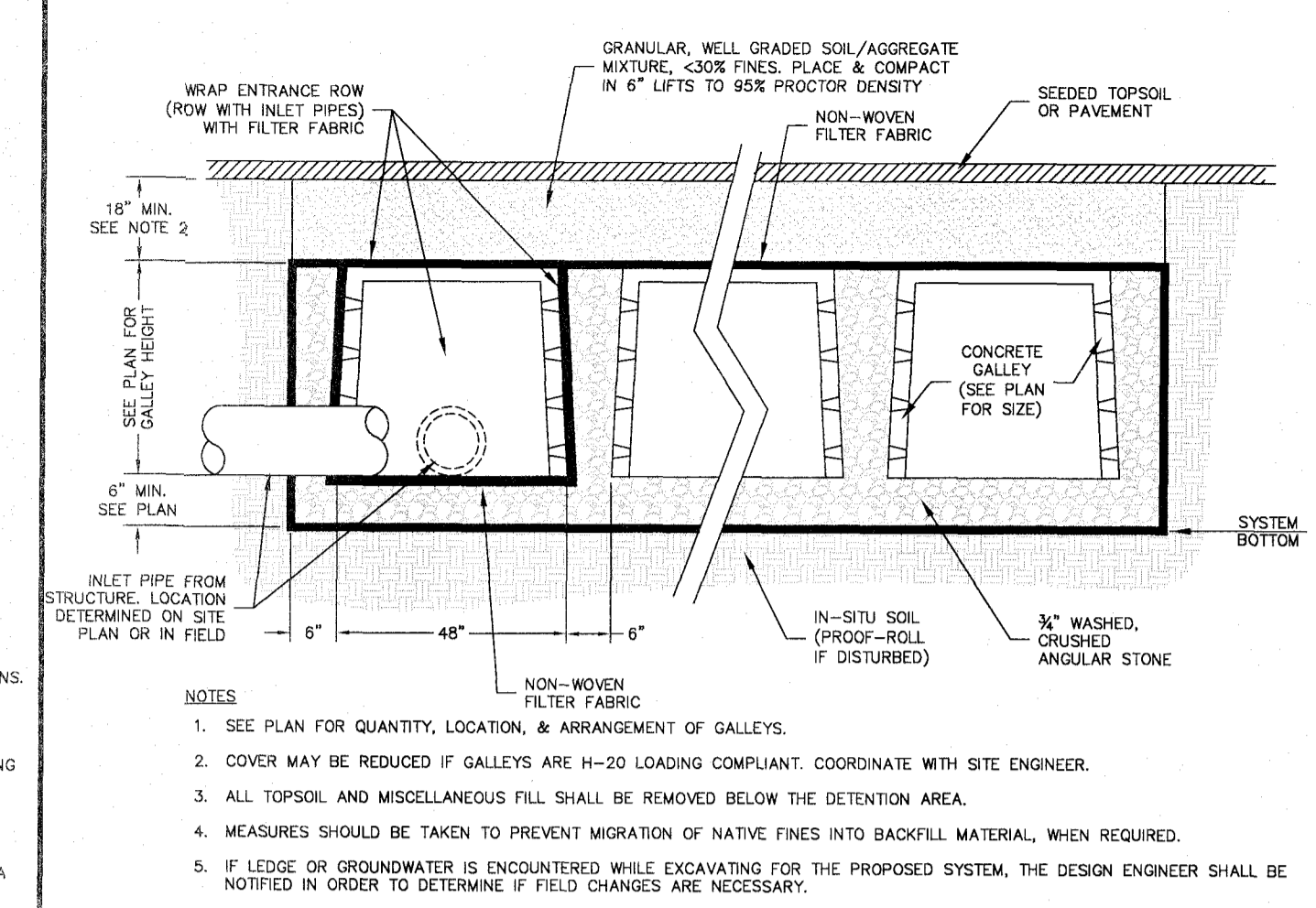
### CRUSHED STONE APRON



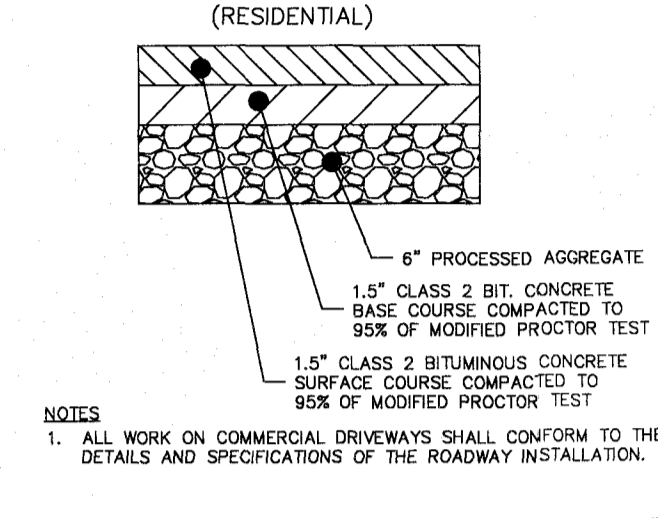
### CONCRETE GALLEY ACCESS MANHOLE



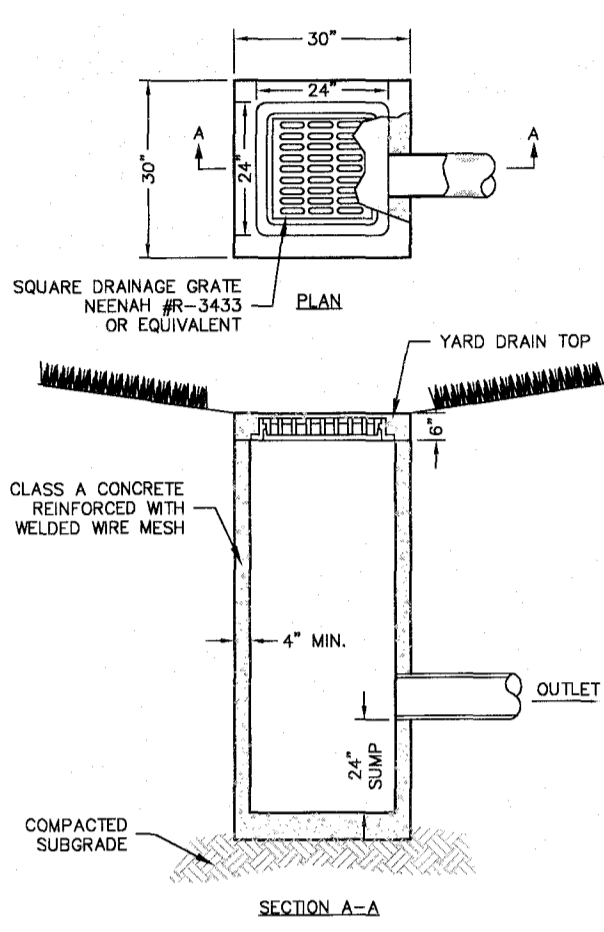
### CONCRETE GALLEY DETENTION SYSTEM



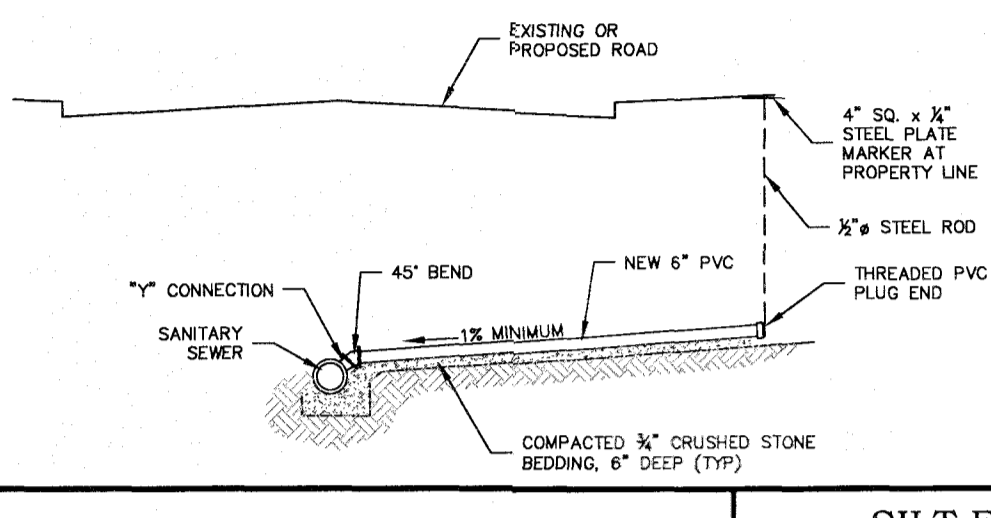
### DRIVEWAY CROSS SECTION (RESIDENTIAL)



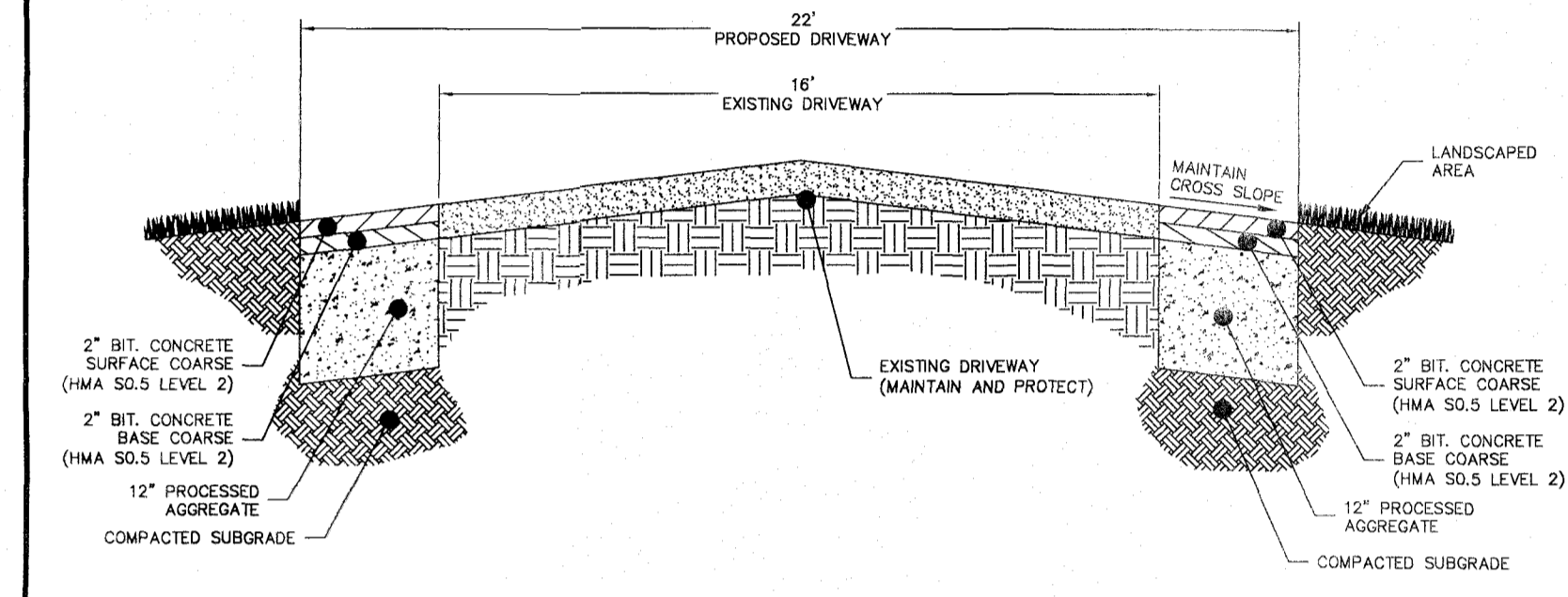
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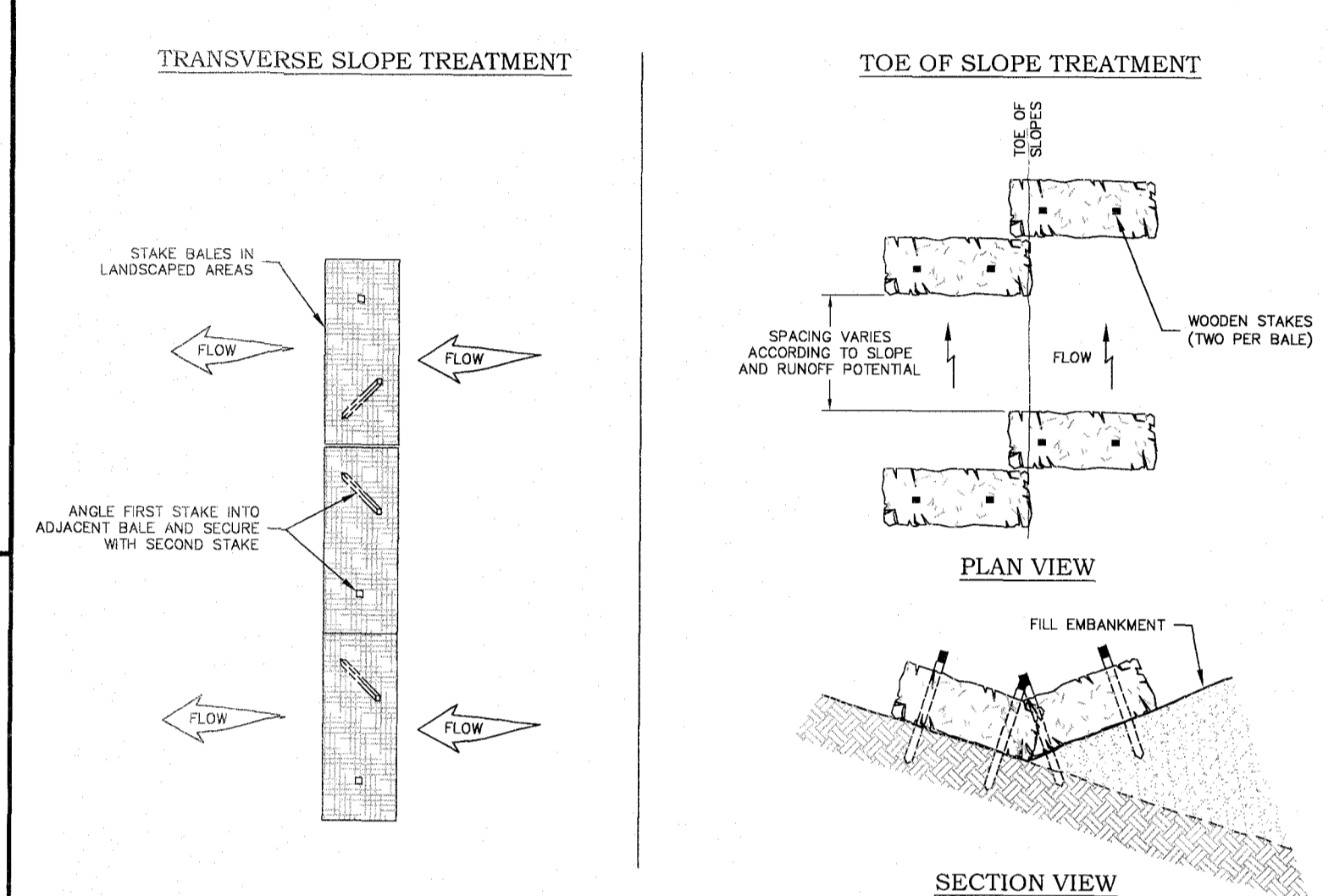
### SERVICE LATERAL CONNECTION - TYPE 2



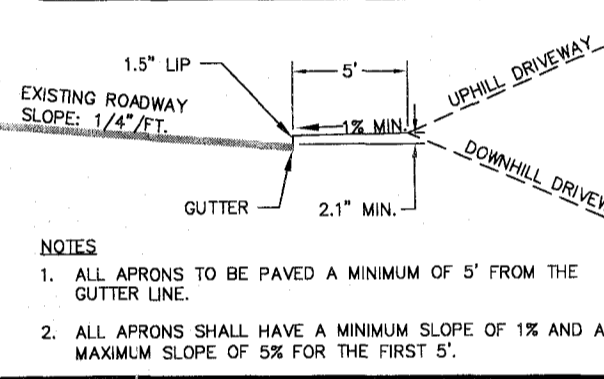
### DRIVEWAY WIDENING SECTION



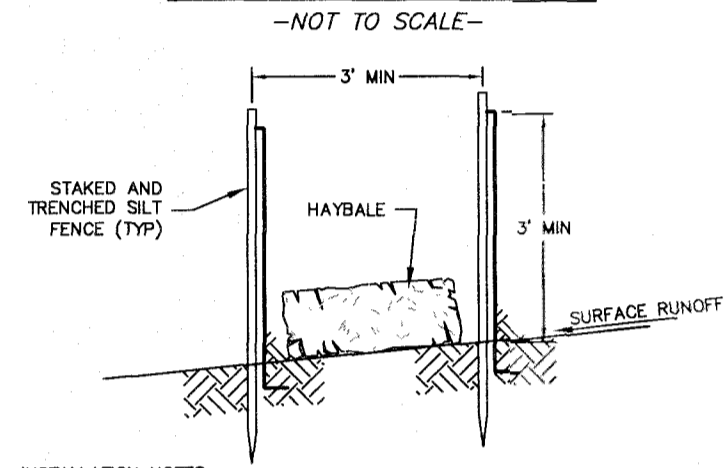
### HAY BALE EROSION PROTECTION



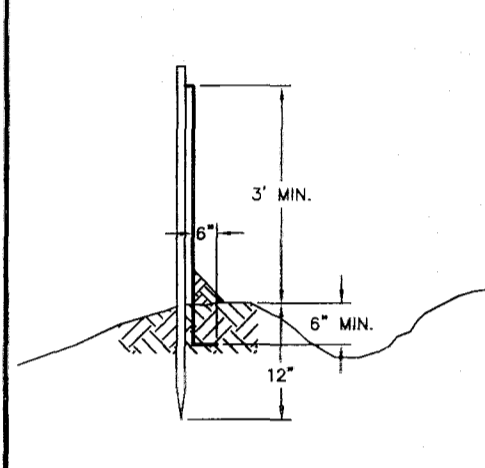
### DRIVEWAY APRON PROFILE



### DOUBLE SILT FENCE



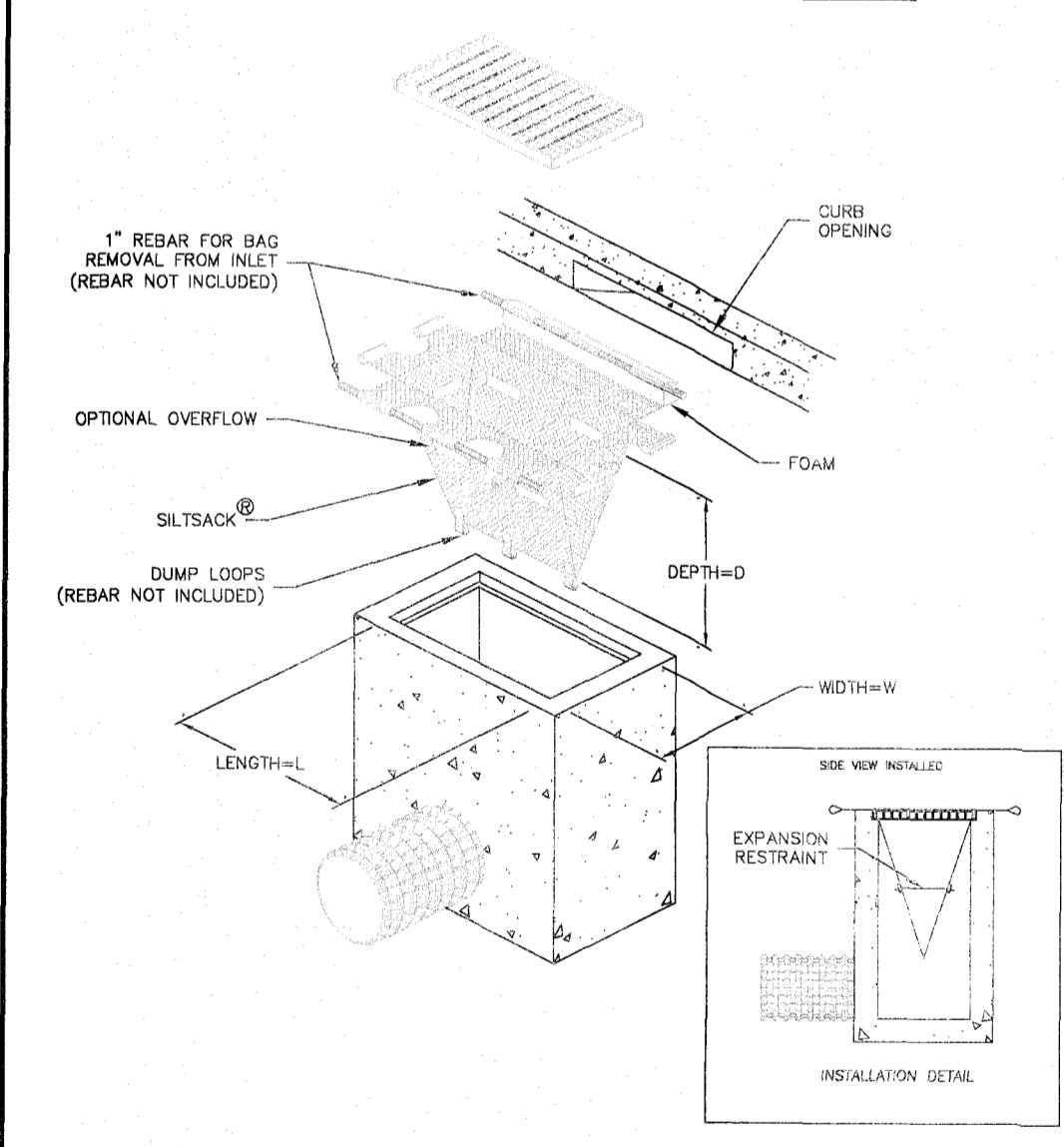
### SILT FENCE



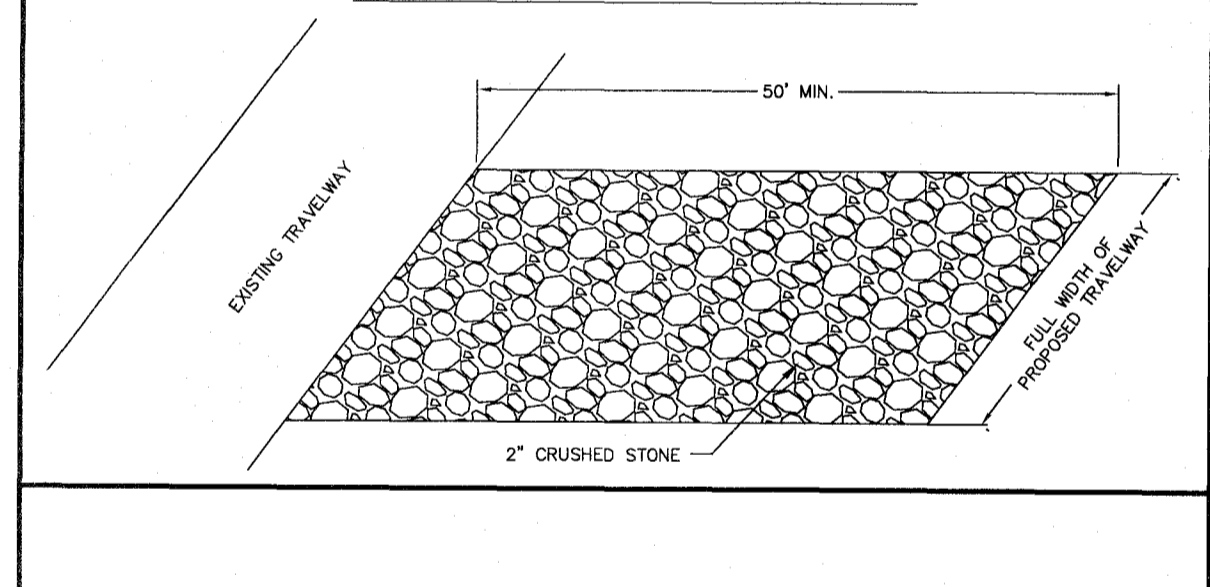
### SEDIMENTATION & SOIL EROSION SPECIFICATIONS

- THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.
  - ALL CONSTRUCTION ACTIVITIES SHALL PROCEED SO THAT POLLUTION OF ANY WETLANDS, WATERCOURSES, WATERBODY, AND/OR CONDUIT CARRYING WATER, ETC. DOES NOT OCCUR. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE EROSION ON THE SITE.
  - CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002) BY THE STATE OF CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- IMPLEMENTATION NOTES:**
- THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE. ALL CONTROL MEASURES ARE TO BE MAINTAINED IN AN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ADDITIONAL MEASURES ARE TO BE INSTALLED IF NECESSARY OR REQUIRED DURING CONSTRUCTION PERIOD.
  - LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION TO BE SCHEDULED AS SOON AS PRACTICAL.
  - POST AND FABRIC SLOPE BARRIERS SHALL BE INSTALLED AT THE TOE OF ALL CRITICAL CUT AND FILL SLOPES. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED WHEN SOIL HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
  - ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
  - SEDIMENT TRAPS, IF APPLICABLE, MUST BE CLEANED WHEN CAPACITY HAS BEEN REDUCED BY AN AVERAGE OF 2" OVER ITS TOTAL AREA OR TO 80% OF ITS DESIGN VOLUMES, WHICHEVER OCCURS FIRST.
  - SEDIMENT REMOVED FROM THE CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH THE INTENT OF THE PLAN AND IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
  - FILL MATERIAL SHALL BE FREE FROM CEBS'S PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN 6 INCHES IN MAXIMUM DIMENSION. FILL SHALL BE PLACED IN MAXIMUM 12 INCH LOOSE LIFTS AND COMPACTED TO WITHIN 80% OF THE MODIFIED PROCTOR TEST RESULT.
  - PAVEMENT BASE COURSE MUST BE PLACED IN ALL PROPOSED PAVEMENT AREAS UPON COMPLETION OF FINE GRADING.
  - PERMANENT LANDSCAPED AREAS SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS IMMEDIATELY AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZER PRIOR TO PERMANENT SEEDING.
- TOPSOIL PREPARATION:**
    - TOPSOIL SHOULD BE A MINIMUM OF FOUR INCHES DEEP (COMPACTED) BEFORE SEEDING.
    - HAVE TOPSOIL TESTED FOR PH, ADD LIME AS NECESSARY TO ACHIEVE pH OF 6.5. APPLY FERTILIZER AT A RATE OF 300 POUNDS PER ACRE OR SEVEN POUNDS PER 4,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 30-0-0 PER ACRE OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP DRESSING.
    - WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTAINING CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
    - REMOVE FROTH THE SURFACE. ALL STONES ONE INCH OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMP, OR OTHER UNSUITABLE MATERIAL. INSPECT SEED BED JUST BEFORE SEEDING. IF DEBRIS HAS LEFT SOIL COMPACT, THE AREA MUST BE RE-FILLED AND COMPACTED AS ABOVE.
  - SEED MIXTURE (APPLY AT A RATE OF 200 POUNDS/ACRE):**
    - 92.1 10% KENTUCKY BLUEGRASS - BARN MIX
    - 92.2 20% PERENNIAL Ryegrass
    - 92.3 70% TURF TYPE TALL FESCUE
- ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
  - WHERE DOWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION STRUCTURE OR BOWL. PROTECTIVE SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF PUMPING OPERATION CAUSES TURBIDITY PROBLEMS, THE OPERATOR SHALL CEASE UNTIL FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED.
  - THE RESPONSIBILITY FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN, INFORMING ALL CONCERNED OF THE REQUIREMENT OF THE PLAN, NOTIFYING THE PLANNING AND ZONING COMMISSION, ITS DESIGNATED REPRESENTATIVE OF ANY TRANSFER OF RESPONSIBILITY AND SEEING THAT A COPY OF THE PLAN IS RECEIVED BY ANY SUCCESSOR IN INTEREST TO THE TITLE OF THE LAND OR ANY PORTION THEREOF IS ASSIGNED TO THE OWNER.
  - ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION, WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.

### INLET PROTECTION WITH SILTSACK



### CONSTRUCTION ENTRANCE



### GRADING & DRAINAGE NOTES

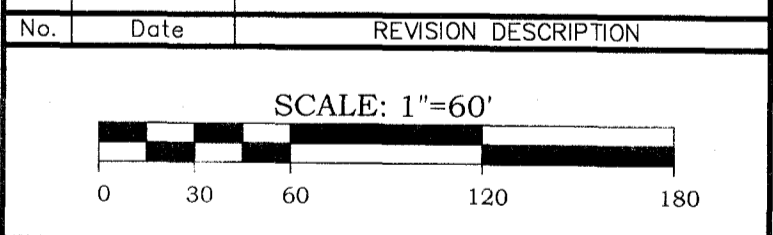
- ABBREVIATIONS:
  - PVC = POLYVINYL CHLORIDE PIPE (SDR-35)
  - HDPE = HIGH DENSITY POLYETHYLENE PIPE
  - RCP = REINFORCED CONCRETE PIPE
  - MH = MANHOLE
  - CB = CATCH BASIN
  - INV = INVERT
  - LF = LINEAR FEET
  - ACPM = ASPHALT COATED CORRUGATED METAL PIPE
  - HERCP = HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING ON-SITE STORM PIPING AND STRUCTURES THAT ARE TO BE MAINTAINED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SIZING THE DRAINAGE STRUCTURES FOR THE INDICATED PIPE CONNECTIONS.
- THE PIPE LENGTHS SHOWN ARE APPROXIMATE.
- ALL PROPOSED CATCH BASINS SHALL HAVE A 2' SUMP, UNLESS OTHERWISE SPECIFIED.
- ALL SLOPES TO BE NO GREATER THAN 4" HORIZONTAL TO 1" VERTICAL.

### DRAWING LIST

SHEET #	DRAWING NAME
01-01	COVER SHEET
03-01	EXISTING CONDITIONS PLAN
05-01	SUBDIVISION PLAN
11-01	SITE DEVELOPMENT PLAN
13-01	SOIL EROSION & SEDIMENT CONTROL PLAN
20-01	CONSTRUCTION NOTES & DETAILS

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No.	Date	REVISION DESCRIPTION



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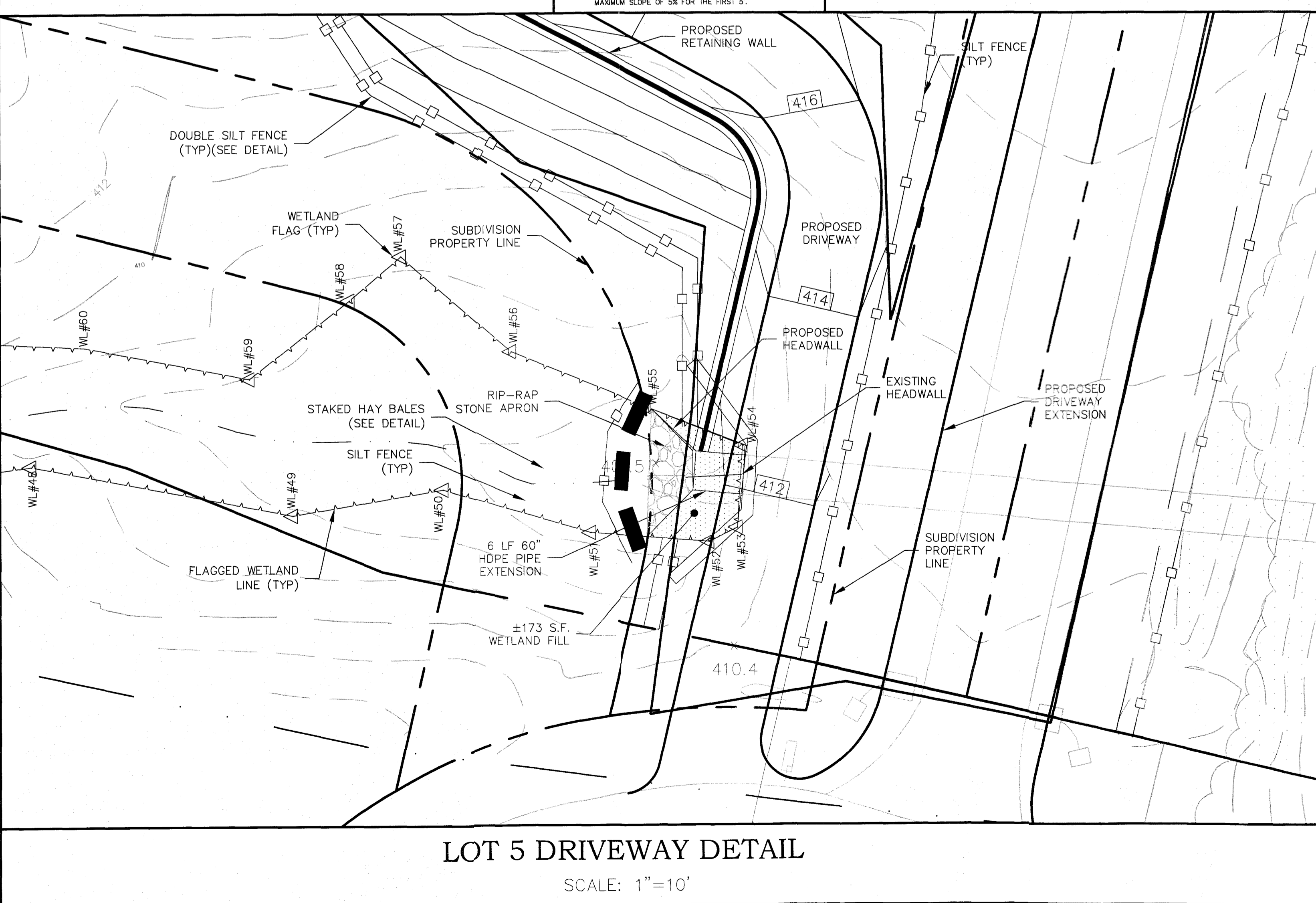
### CONSTRUCTION NOTES AND DETAILS

OF  
**30 LORRAINE DR**  
**BEACON FALLS, CONNECTICUT**

PREPARED FOR  
**ESTATE OF CHARLES EDWARDS**  
**BEACON FALLS, CONNECTICUT**

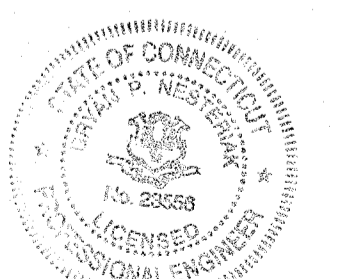
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Date 5/27/2022  
 Scale AS NOTED  
 Job No. 1136  
 Drawing No. 20-01



### LOT 5 DRIVEWAY DETAIL

SCALE: 1"=10'



BRYAN P. NESTERIAK, CT. P.E., L.S. 23558