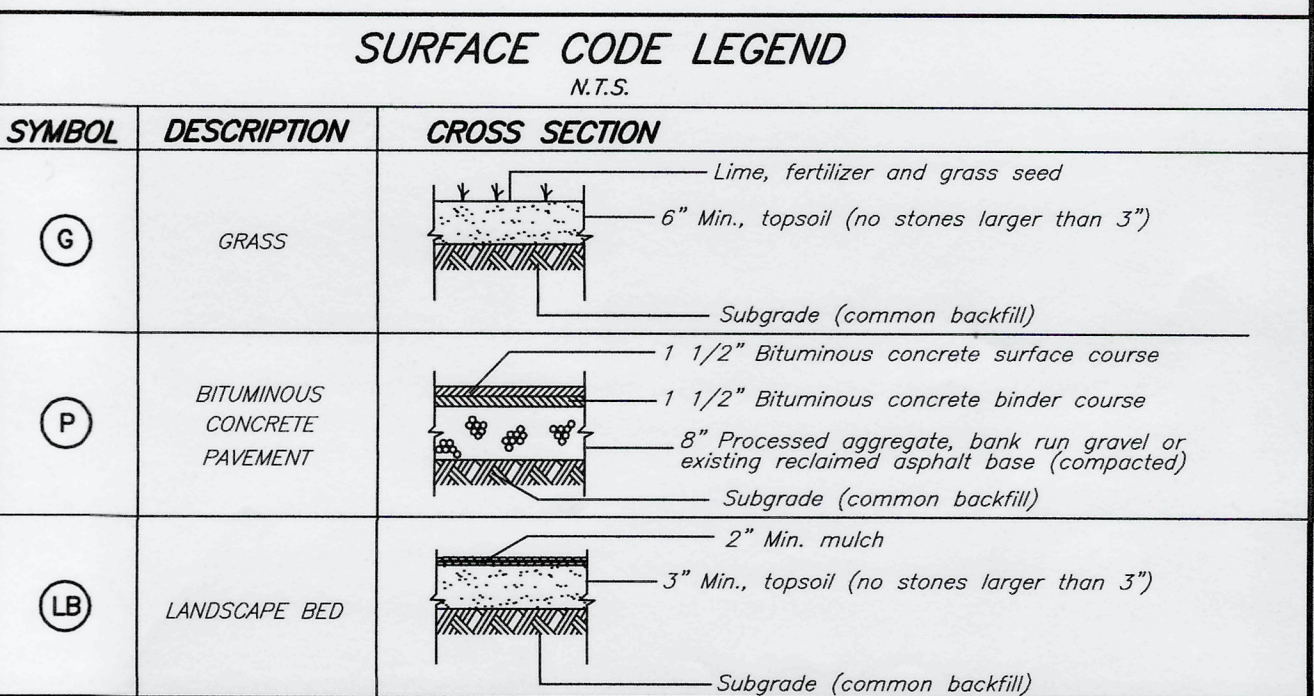


- NOTES:**
- This survey (map) has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 as revised 10-26-2018 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc; it is a Property/Boundary Survey based on a Resurvey conforming to Horizontal Accuracy Class A-2 and Topographic Accuracy Class 2-2 standards.
 - Reference Maps:
 - Map entitled: "Property & Topographic Survey, #7 Rimmon Hill Road & #101 Pinesbridge Road, Beacon Falls, Connecticut prepared for Lankolga LLC; Scale: 1"=20'; Dated: 9/13/22", by Horbal & Judson, Land Surveyors & Associates.
 - Map entitled: "Boundary Survey prepared for Nadeem Khalid, Lots No.s 9+10 Pinebridge Rd., Beacon Falls, Connecticut; Scale: 1"=20'; Dated: May 18, 2010 and revised 6-14-2010", by Flynn & Cyr Land Surveying, LLC. On file in the Beacon Falls Land Records at Map Volume 22, Page 7.
 - Map entitled: "Property Survey Rimmon Hill Road Relocation at Pines Bridge Road, Beacon Falls, Connecticut; Scale: 1"=40'; Dated: April 20, 1999", by A M Engineering. On file in the Beacon Falls Land Records at Map Volume 16, Page 34.
 - Map entitled: "The Rimmon Meadow Subdivision owned by George & Anna Lafferty, Beacon Falls, Conn.; Scale: 1"=40'; Dated: March 1968" by A.J. MacBrien, R.L.S. On file in the Beacon Falls Land Records at Map Volume 4, Page 34.
 - Map entitled: "Property/Topographic Survey showing existing conditions prepare for Dr. Dey, #127 Pines Bridge Road (RT. #42) Beacon Falls, Connecticut; Scale: 1"=20'; Dated: July 6, 2011 and revised through August 4, 2011", by Hallisey, Pearson & Cassidy, Civil Engineers & Land Surveyors. On file in the Beacon Falls Land Records at Map Volume 22, Page 16.
 - Parcel Data: #7 Rimmon Hill Road
 Owner & Applicant: Lankolga LLC
 Total Area: 48,483 s.f., 1.113± acres.
 Wetland Area: 13,100± s.f., 0.30± acres.
 Deed Reference: Vol. 248, Pg. 100 of the Beacon Falls Land Records
 Existing Zone: R-1 Residence District
 Proposed Zone: Residential Industrial Transitional Zone
 Lot 9 on Beacon Falls Tax Assessor's Map #3-2.
 - Parcel is subject to:
 - A. matters shown on Reference Maps 2.A. and 2.B.
 - B. grant of slope easement from Pines Bridge Associates and C.B.L., Inc. to the Town of Beacon Falls dated May 20, 1999 and recorded May 21, 1999 in Volume 112, Page 358 of the Beacon Falls Land Records.
 - C. all laws, ordinances, municipal regulations, and rights of record that may exist.
 - Wetlands were field delineated on July 1, 2022 by Soil Science and Environmental Services Inc., Scott D. Stevens, Registered Professional Soil Scientist, and located by field survey.
 - Parcel is NOT located within a Special Flood Hazard Area per National Flood Insurance Program, FIRM, Flood Insurance Rate Map, New Haven County, Connecticut, (All Jurisdictions) Panel 262 of 635, Map Number 09009C0262H, Effective date: December 17, 2010 by the Federal Emergency Management Agency.
 - All utilities are not shown. Subsurface utilities were compiled from parcel evidence, record drawings, and surficial evidence located during the field survey. The surveyor has not physically exposed the subsurface utilities and makes no guarantee that the subsurface utilities depicted hereon accurately show all such utilities within the surveyed area, either in service or abandoned. The surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted. Any contractors are required to utilize "Call before you dig" one call system prior to any excavation for the purpose of verifying the subsurface utilities in the area.
 - Prior to the start of construction the contractor shall verify the location of all underground utilities and contact Call Before You Dig, Tel. 1-800-922-4455 or 811.
 - All construction to be in conformance with regulations and ordinances of the Town of Beacon Falls.

ZONING COMPLIANCE SUMMARY
RESIDENTIAL INDUSTRIAL TRANSITIONAL (RTI) ZONE
#7 RIMMON HILL ROAD

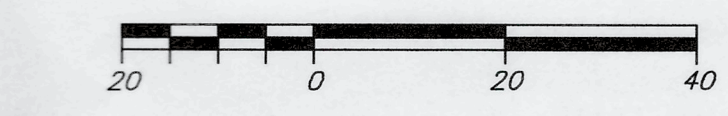
	REQUIRED/ALLOWED	EXISTING	PROPOSED
Min. Lot Area (in sq. ft.)	12,500	> 12,500	> 12,500
Minimum Dimensions of Lot Square (in ft.)	100	125±	125±
Minimum Width (in ft.)	100	> 125	> 125
Minimum Depth (in ft.)	125	> 200	> 200
Minimum Front Yard (in ft.)	40	-	43±
Minimum Side Yard (in ft.)	25	-	41±
Minimum Rear Yard (in ft.)	20	-	24.3±
Maximum Lot Coverage (Buildings) (%)	20	-	5.4±
Maximum Height (Stories)	3.5	-	2



LEGEND

<ul style="list-style-type: none"> Mon. Monument Iron Pin Iron Pipe Property Line Adjacent Property Line Fence Retaining Wall Stone Wall Wetlands Boundary Line Wetlands Boundary Flag w/number Wetlands Storm Water Sewer Pipe Underground Cable TV Wire Underground Electric Wire Roof leader Overhead Utility Wires Water main Gas main Sanitary Sewer Pipe 	<ul style="list-style-type: none"> C.L.&P. Utility Pole owned by C.L.&P. M.H. Manhole C.B. or LI Catch Basin or Lawn Inlet W.G. Water Gate Valve Light Post G.C.G. Gas Gate Valve Proposed Austrian Pine Proposed Flowering Pear Proposed Dwarf Inberry Stormwater Infiltration Trench Proposed Storm Water Pipe Gas Service Lateral Water Service Lateral Sanitary Sewer Lateral 10 foot contour with elevation 2 foot contour with elevation Spot elevation Proposed 10 ft. contour w/el. Proposed 2 ft. contour w/el. Proposed spot elevation 	<ul style="list-style-type: none"> Found n/f Now or Formerly W.F. Woven Wire Fence with Roof leaders Overhang or Overhead Polyvinyl Chloride Pipe Reinforced Concrete Pipe Corrugated Metal Pipe San. Sanitary Inv. Invert el. or elev. Elevation bit. Bituminous conc. Concrete Mas. Masonry Bituminous Concrete Lip Curb Min. Minimum Max. Maximum R. Radius equals Ex. Existing 	<ul style="list-style-type: none"> Sewer cleanout Steel Ballard Gas Service Sanitary Sewer Water Service Underground Electric Service Catch Basin w/number Storm Manhole w/number Sanitary Sewer Manhole w/number Deep Test Pit Location Construction Entrance - Anti-tracking Road Staked Hay Bales Filter Fence Diversion Berm/Ditch P.B.C. (Proposed Bituminous Curb) P.C.C. (Proposed Concrete Curb)
---	--	---	--

EDWARD LEAVY, P.E.
 10 Shelton Dr., Shelton CT. 06484
 Phone (203) 929-0546



THIS MAP IS NOT VALID WITHOUT SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 Date: 11/1/2022
 JESSE H. JUDSON L.S. REG. NO. 70390
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 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

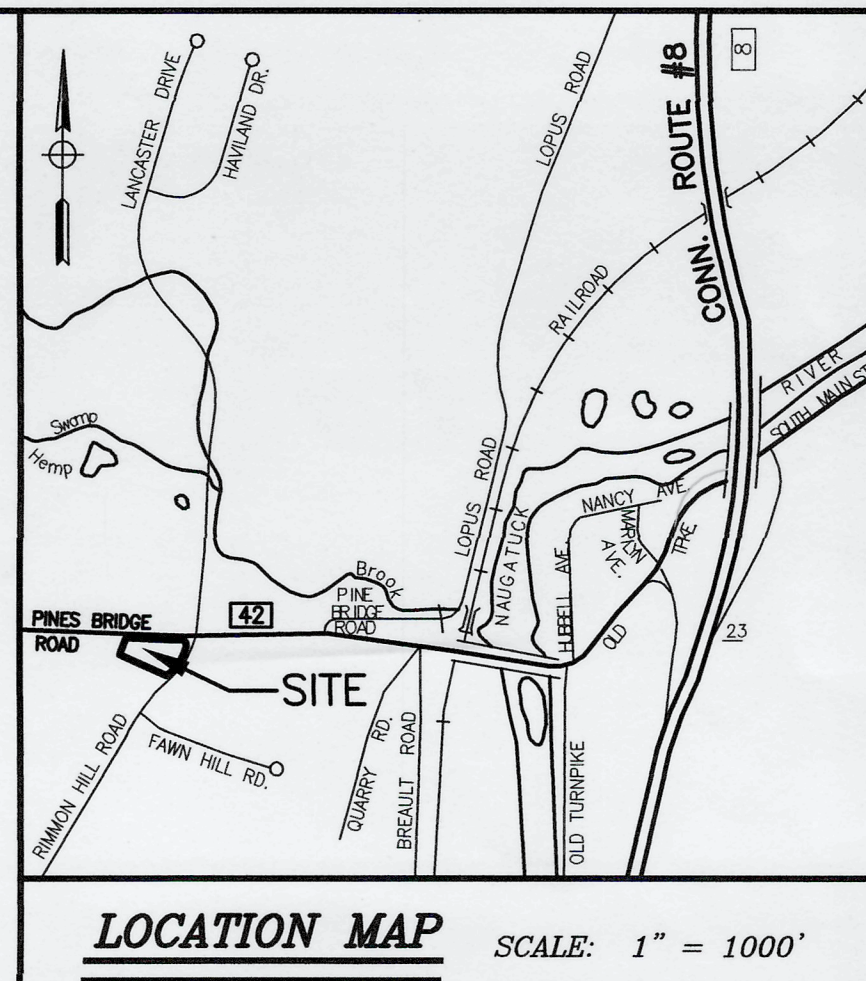
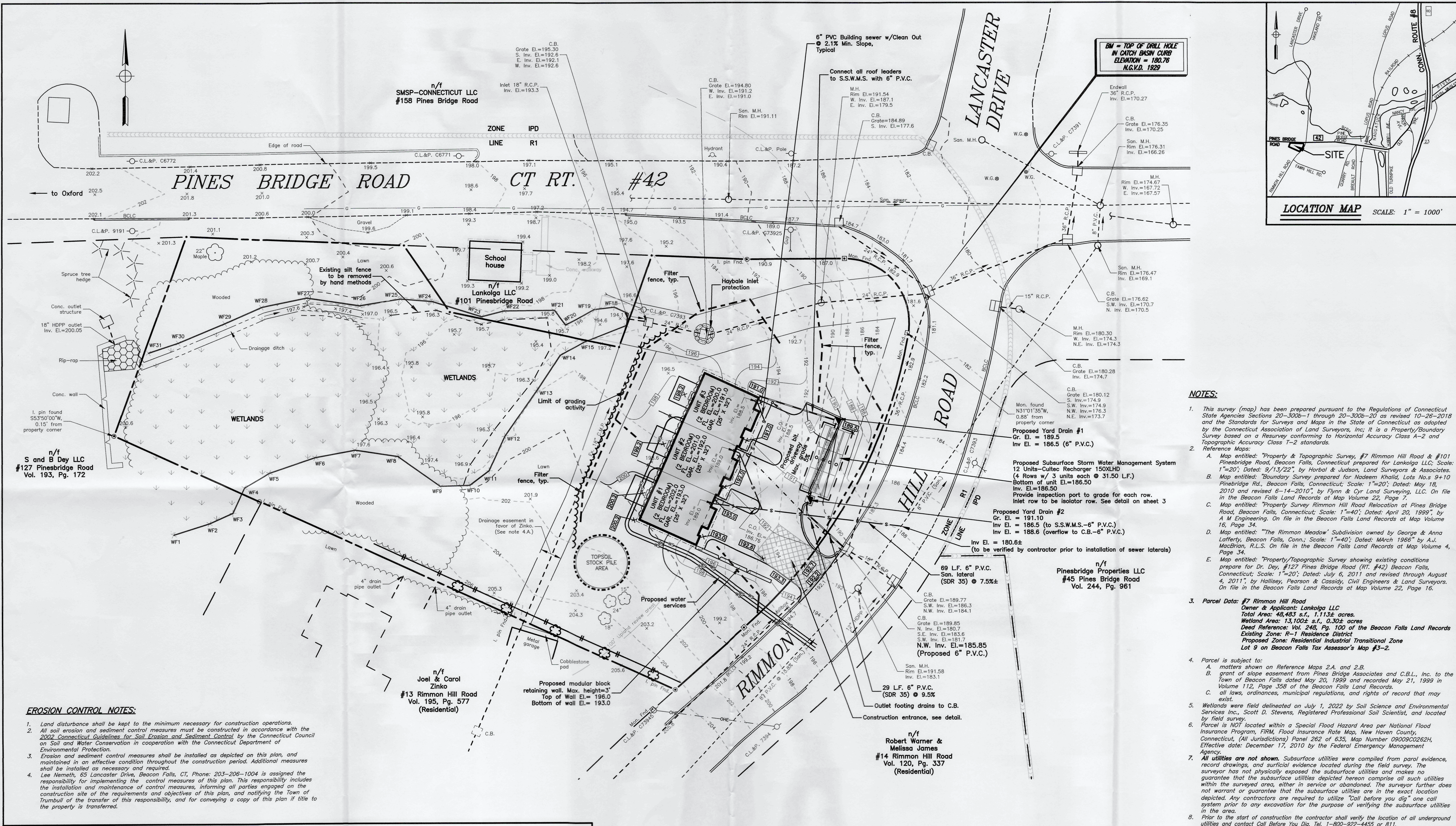
REVISIONS

NO.	DESCRIPTION	DATE

SITE LAYOUT PLAN
IMPROVEMENT LOCATION SURVEY
#7 RIMMON HILL ROAD
BEACON FALLS, CONNECTICUT
PREPARED FOR LANKOLGA LLC

Scale: 1"=20'
 Date: 11/1/2022
 Sheet: 1 of 3
 Checked By: J.T.J.
 Drawn By: G.P.D.
 C.B. No. 492 & 493
 FAD No. d2540a.dwg
 Disk: 46/10
 Job No. D-2540a

HORBAL & JUDSON
 Land Surveyors & Associates
 52 Main Street, Seymour, Connecticut (203)888-9860



- NOTES:**
- This survey (map) has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 as revised 10-26-2018 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. It is a Property/Boundary Survey based on a Resurvey conforming to Horizontal Accuracy Class A-2 and Topographic Accuracy Class T-2 standards.
 - Reference Maps:
 - Map entitled: "Property & Topographic Survey, #7 Rimmon Hill Road & #101 Pines Bridge Road, Beacon Falls, Connecticut prepared for Lankolga LLC, Scale: 1"=20'; Dated: 9/13/22", by Horbal & Judson, Land Surveyors & Associates.
 - Map entitled: "Boundary Survey prepared for Nadeem Khalid, Lots Nos. 9+10 Pinesbridge Rd., Beacon Falls, Connecticut; Scale: 1"=20'; Dated: May 18, 2010 and revised 6-14-2010", by Flynn & Cyr Land Surveying, LLC. On file in the Beacon Falls Land Records at Map Volume 22, Page 7.
 - Map entitled: "Property Survey Rimmon Hill Road Relocation at Pines Bridge Road, Beacon Falls, Connecticut; Scale: 1"=40'; Dated: April 20, 1999", by A.M. Engineering. On file in the Beacon Falls Land Records at Map Volume 15, Page 34.
 - Map entitled: "The Rimmon Meadow" Subdivision owned by George & Anna Lafferty, Beacon Falls, Conn.; Scale: 1"=40'; Dated: March 1966" by A.J. MacBrien, R.L.S. On file in the Beacon Falls Land Records at Map Volume 4, Page 34.
 - Map entitled: "Property/Topographic Survey showing existing conditions prepare for Dr. De, #127 Pines Bridge Road (RT. #42) Beacon Falls, Connecticut; Scale: 1"=20'; Dated: July 6, 2011 and revised through August 4, 2011", by Hollisey, Pearson & Cassisi, Civil Engineers & Land Surveyors. On file in the Beacon Falls Land Records at Map Volume 22, Page 16.
 - Parcel Data: #7 Rimmon Hill Road
 Owner & Applicant: Lankolga LLC
 Total Area: 45,483 s.f., 1.1132 acres.
 Wetland Area: 13,100 s.f., 0.302 acres
 Deed Reference: Vol. 248, Pg. 100 of the Beacon Falls Land Records
 Existing Zone: R-1 Residential District
 Proposed Zone: Residential Industrial Transitional Zone
 Lot 9 on Beacon Falls Tax Assessor's Map #3-2.
 - Parcel is subject to:
 - matters shown on Reference Maps 2.A. and 2.B.
 - grant of slope easement from Pines Bridge Associates and C.B.L., Inc. to the Town of Beacon Falls dated May 20, 1999 and recorded May 21, 1999 in Volume 112, Page 359 of the Beacon Falls Land Records.
 - all laws, ordinances, municipal regulations, and rights of record that may exist.
 - Wetlands were field delineated on July 1, 2022 by Soil Science and Environmental Services Inc., Scott D. Stevens, Registered Professional Soil Scientist, and located by field survey.
 - Parcel is NOT located within a Special Flood Hazard Area per National Flood Insurance Program, FIRM, Flood Insurance Rate Map, New Haven County, Connecticut, (All Jurisdictions) Panel 262 of 635, Map Number 09009C0262H, Effective date: December 17, 2010 by the Federal Emergency Management Agency.
 - All utilities are not shown. Subsurface utilities were compiled from parcel evidence, record drawings, and surficial evidence located during the field survey. The surveyor has not physically exposed the subsurface utilities and makes no guarantee that the subsurface utilities depicted hereon comprise all such utilities within the surveyed area, either in service or abandoned. The surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted. Any contractors are required to utilize "Call before you dig" one call system prior to any excavation for the purpose of verifying the subsurface utilities in the area.
 - Prior to the start of construction the contractor shall verify the location of all underground utilities and contact Call Before You Dig, Tel: 1-800-922-4453 or 811.
 - All construction to be in conformance with regulations and ordinances of the Town of Beacon Falls.

- EROSION CONTROL NOTES:**
- Land disturbance shall be kept to the minimum necessary for construction operations.
 - All soil erosion and sediment control measures must be constructed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.
 - Erosion and sediment control measures shall be installed as depicted on this plan, and maintained in an effective condition throughout the construction period. Additional measures shall be installed as necessary and required.
 - Les Nemeth, 65 Lancaster Drive, Beacon Falls, CT, Phone: 203-206-1004 is assigned the responsibility for implementing the control measures of this plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of this plan, and notifying the Town of Trumbull of the transfer of this responsibility, and for conveying a copy of this plan if title to the property is transferred.

LEGEND

Monument	Manhole	C.L.&P.	Utility Pole owned by C.L.&P.	Fnd.	Found
Iron Pipe	M.H.	M.H.	Manhole	n/f	Nor or Formerly
Iron Pin	C.B. or L.I.	C.B. or L.I.	Catch Basin or Lawn Inlet	W.F.F.	Woven Wire Fence
Property Line	W.G.	W.G.	Water Gate Valve	w/	Water Service
Adjacent Property Line	Light Post	Light Post	Light Post	o/h	Overhang or Overhead
Fence	G.C.C.	G.C.C.	Gas Gate Valve	P.V.C.	Polyvinyl Chloride Pipe
Retaining wall	PN	PN	Proposed Austrian Pipe	R.C.P.	Reinforced Concrete Pipe
Stone Wall	FP	FP	Proposed Flowering Pear	C.M.P.	Corrugated Metal Pipe
Wetlands Boundary Line	IGC	IGC	Proposed Dwarf Inlet	San.	Sanitary
Wetlands Boundary Flag w/number	S.I.T.	S.I.T.	Stormwater Infiltration Trench	Inv.	Invert
Storm Water Sewer Pipe	GS	GS	Proposed Storm Water Pipe	el. or elev.	Elevation
Underground Cable TV Wire	WS	WS	Water Service Lateral	bit.	Bituminous
Underground Electric Wire	WS	WS	Sanitary Sewer Lateral	conc.	Concrete
Roof leader	160	160	10 foot contour with elevation	Masonry	Masonry
Overhead Utility Wires	162	162	2 foot contour with elevation	B.C.L.C.	Bituminous Concrete Lip Curb
Water main	163	163	Spot elevation	Max.	Maximum
Gas main	164	164	Proposed 10 ft. contour w/el.	Min.	Minimum
Sanitary Sewer Pipe	165	165	Proposed 2 ft. contour w/el.	R=	Radius equals
	166	166	Proposed spot elevation	Ex.	Existing

C.O.O

Steel Ballard	Sewer cleanout
Gas Service	Sanitary Sewer
Water Service	Underground Electric Service
Catch Basin w/number	Storm Manhole w/number
Sanitary Sewer Manhole w/number	Deep Test Pit Location
Construction Entrance - Anti-tracking Pad	Staked Hay Bales
Filter Fence	Diversion Berm/Ditch
P.B.C. (Proposed Bituminous Curb)	P.C.C. (Proposed Concrete Curb)

EDWARD LEAVY, P.E.
 10 Shelview Dr., Shelton CT. 06484
 Phone (203) 929-0548

THIS MAP IS NOT VALID WITHOUT SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 JESSE T. JUDSON L.S. REG. NO. 70390
 Date: 11/1/2022
 COPYRIGHT © 11/1/22 ALL RIGHTS RESERVED BY HORBAL & JUDSON L.S.A. NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

REVISIONS		
NO.	DESCRIPTION	DATE

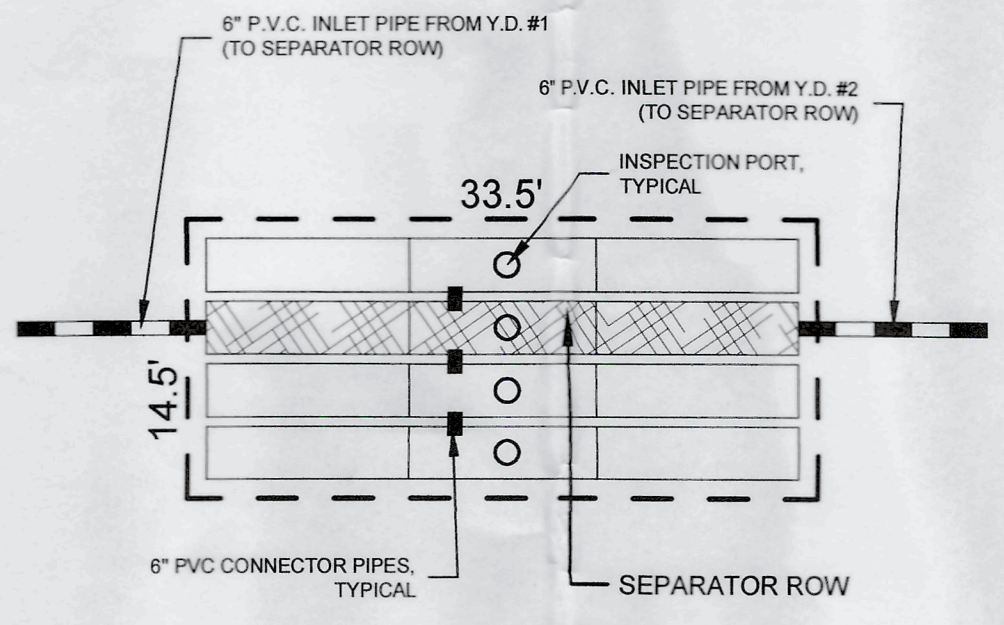
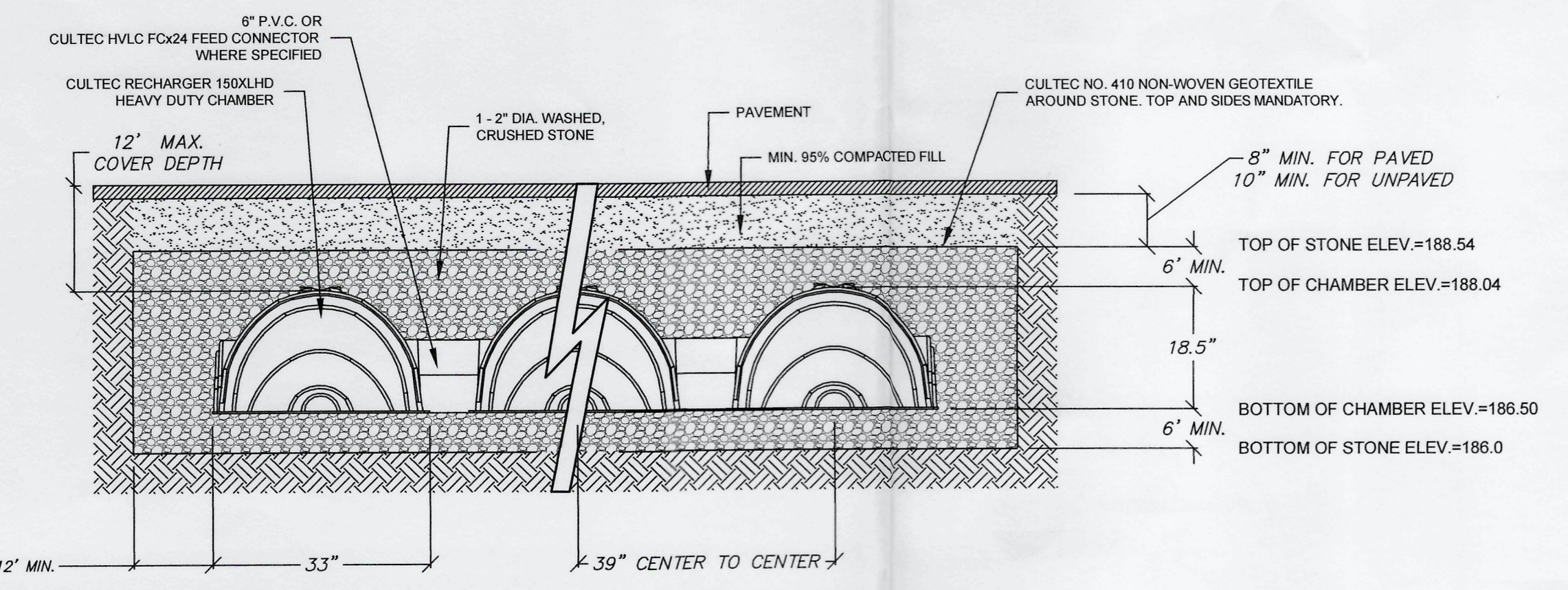
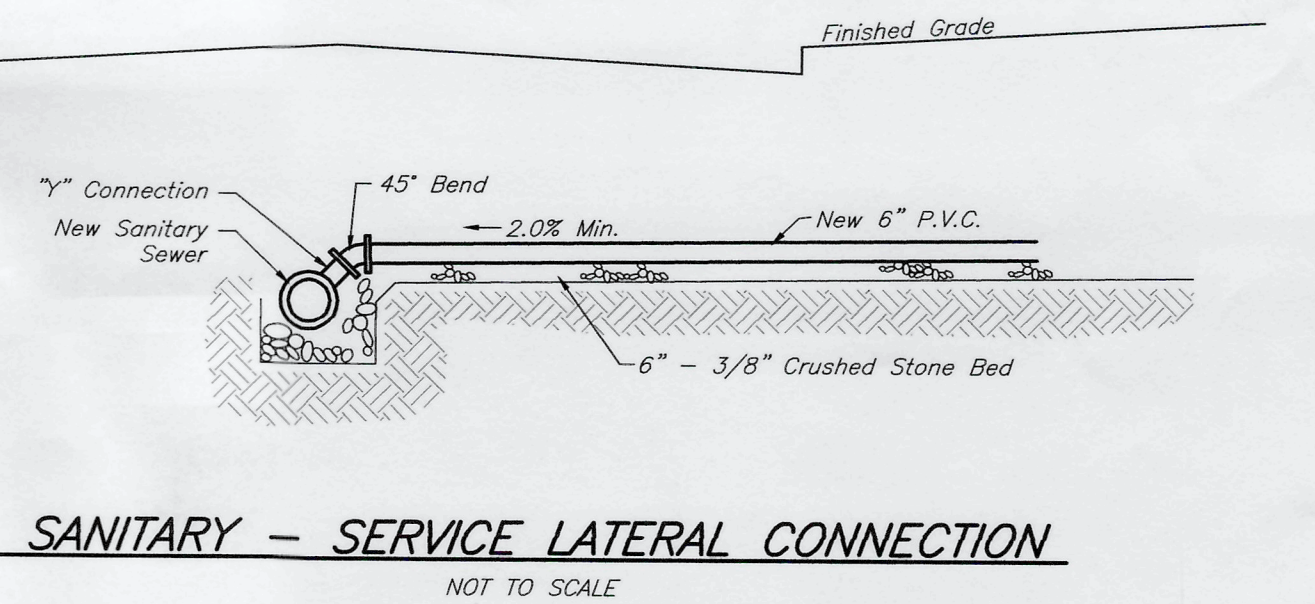
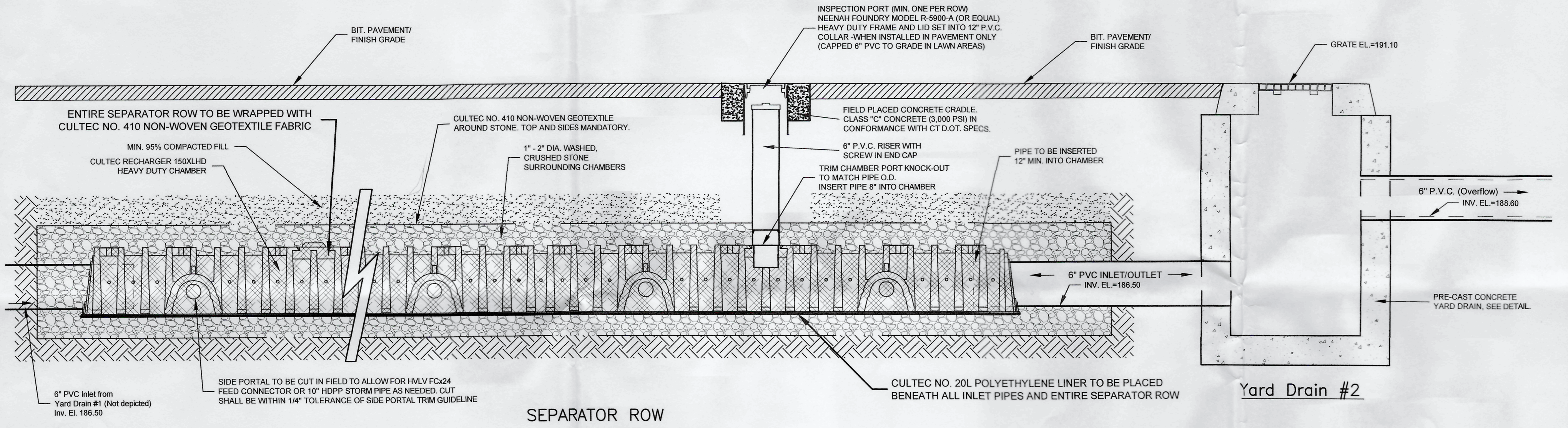
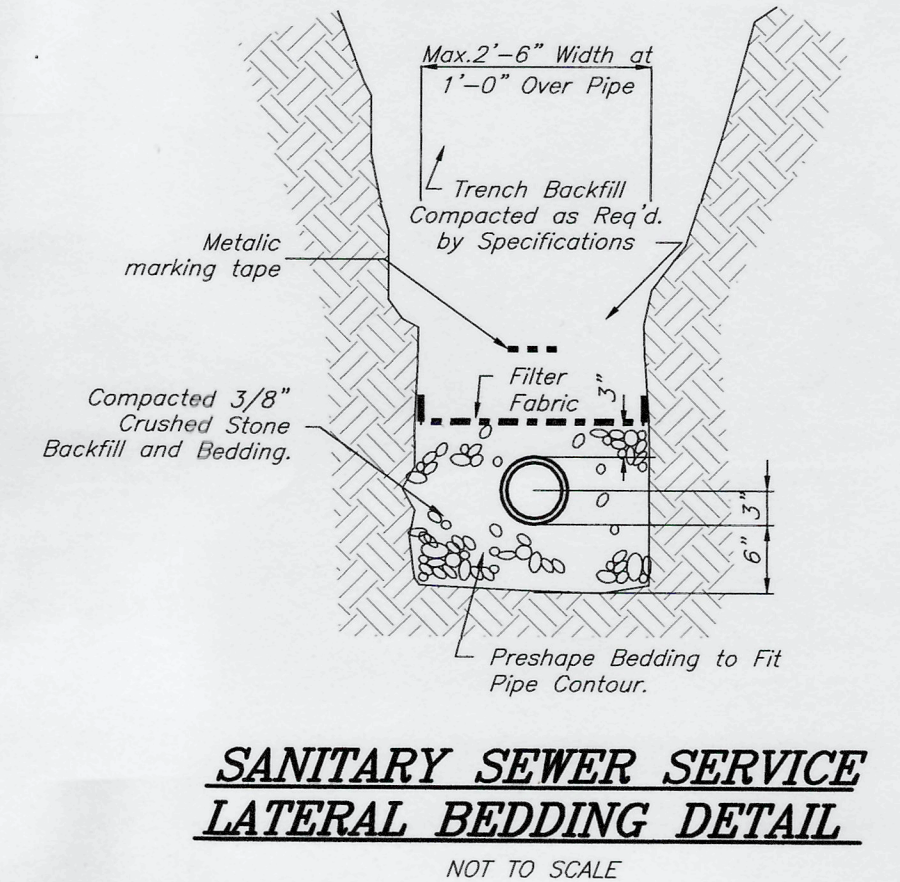
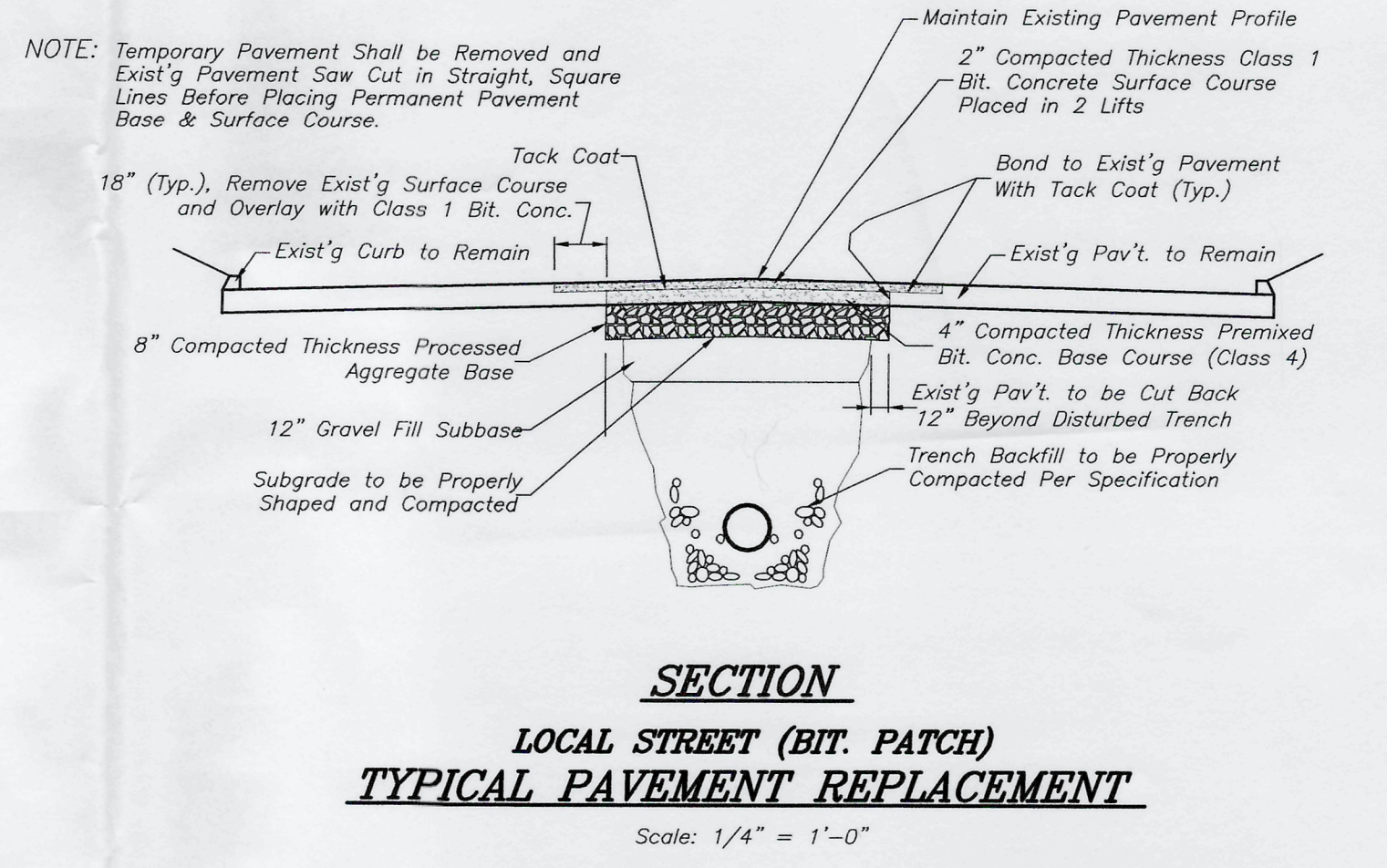
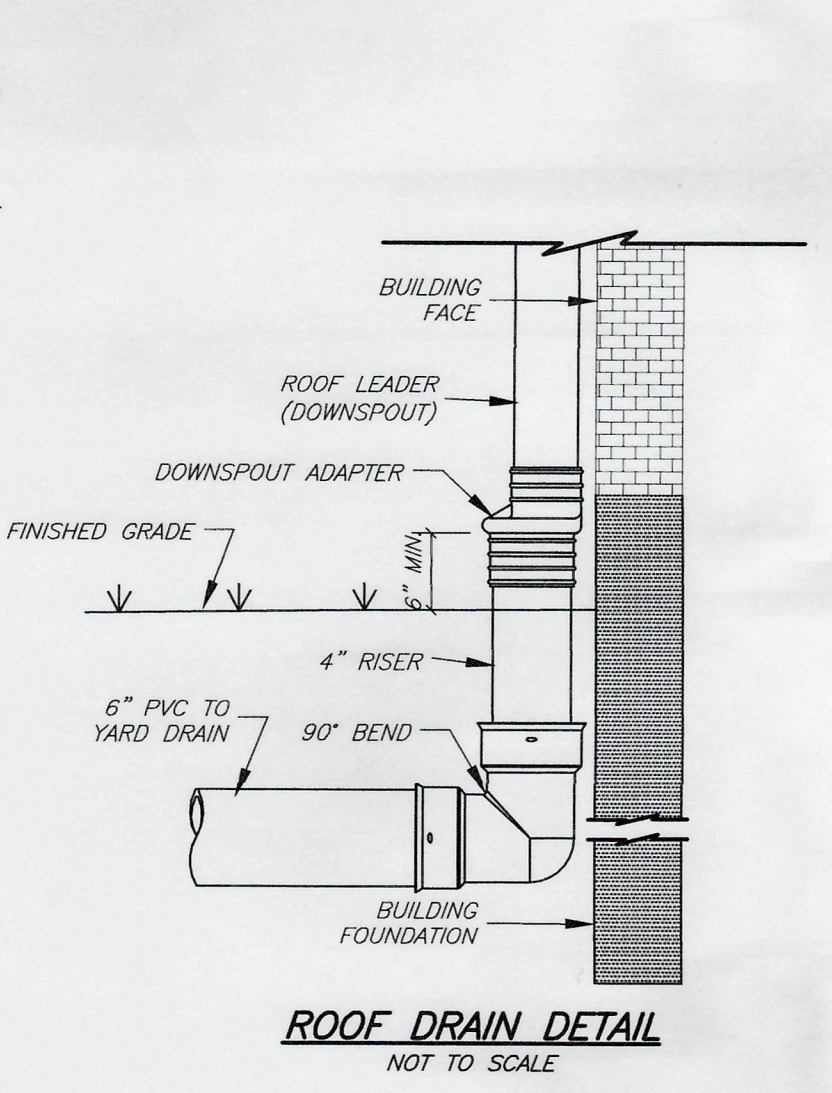
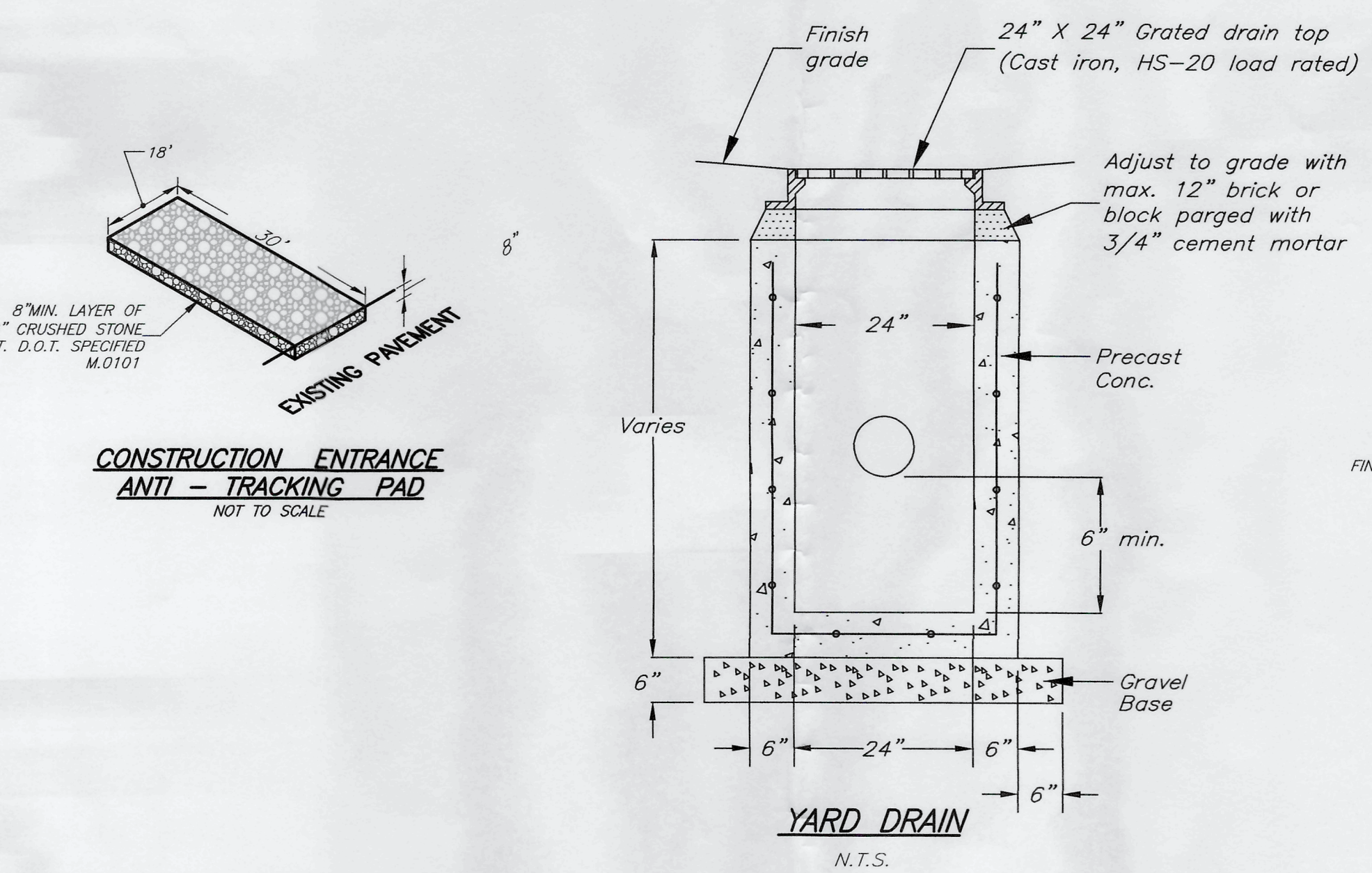
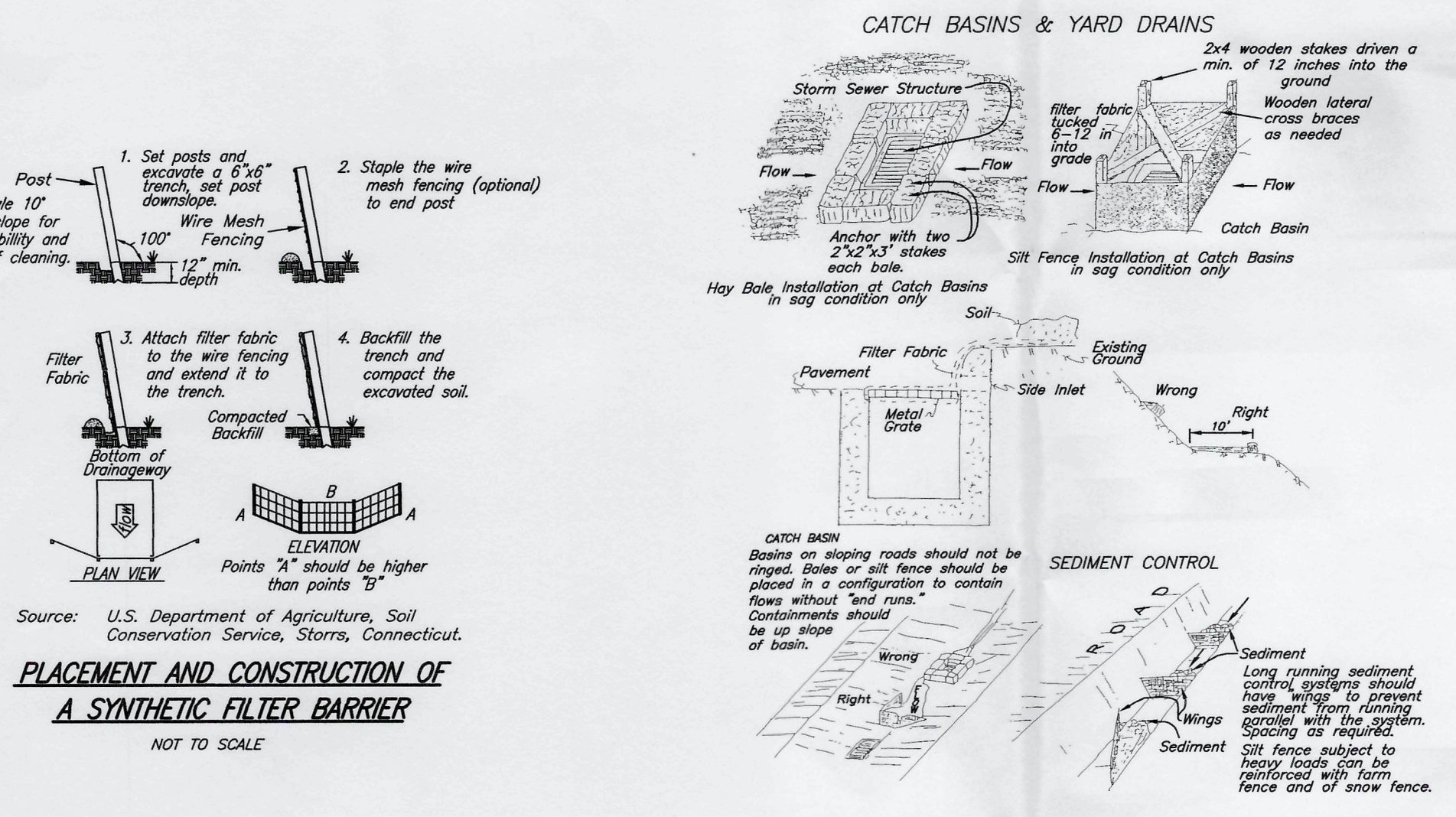
GRADING, UTILITY, AND S.E.S.C. PLAN
 Scale: 1"=20'

IMPROVEMENT LOCATION SURVEY
#7 RIMMON HILL ROAD
BEACON FALLS, CONNECTICUT

PREPARED FOR
LANKOLGA LLC

HORBAL & JUDSON
 Land Surveyors & Associates
 62 Main Street, Seymour, Connecticut (203)888-9660

Date: 11/1/2022
 Sheet: 2 of 3
 Checked By: J.T.J.
 Drawn By: G.P.D.
 F.B. No. 492 & 493
 CAD No. d2540a.dwg
 Disk: 46/10
 Job No. D-2540a

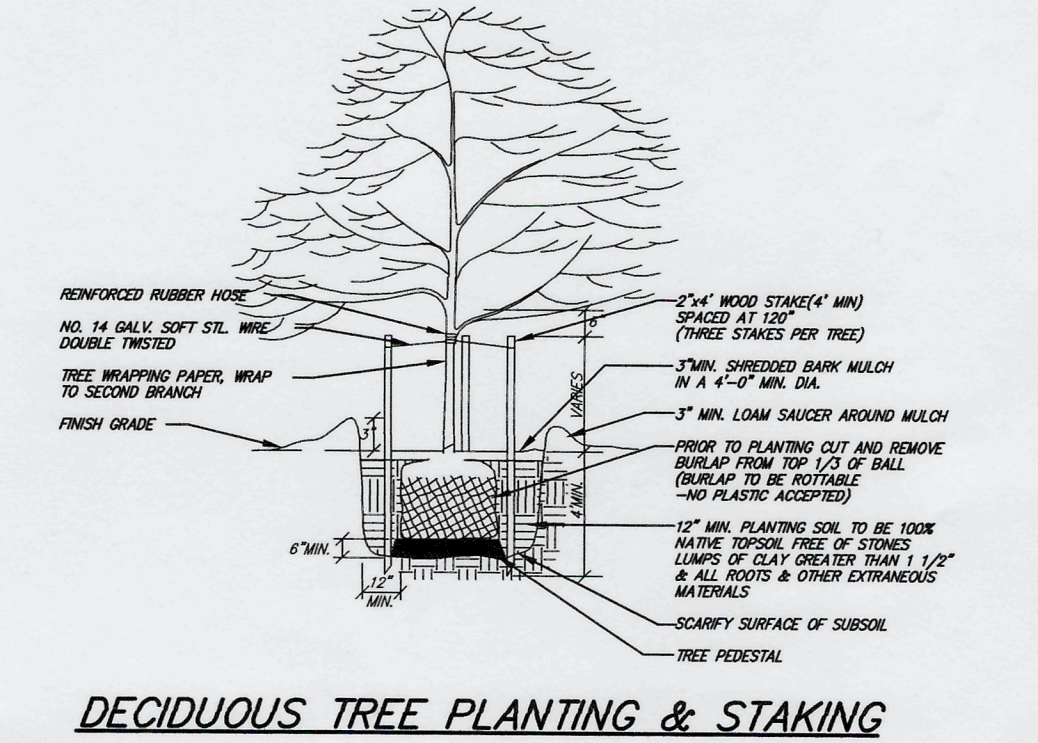
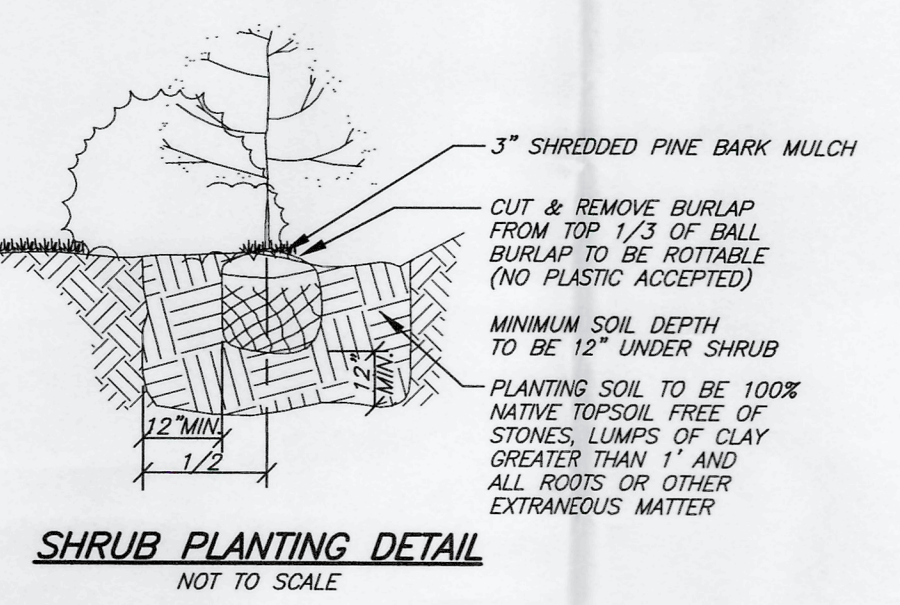


BED SIZE TO BE 14.5' BY 33.5' WITH 12 CULTEC RECHARGER 150XLHD UNITS IN FOUR ROWS (3 UNITS PER ROW)

GENERAL NOTES
RECHARGER 150XLHD BY CULTEC, INC. OF BROOKFIELD, CT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES
ALL RECHARGER 150XLHD HEAVY-DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 150XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

UNITS SHALL BE CULTEC CONTACTOR 150XLHD HEAVY DUTY OR APPROVED EQUAL W/ ONE INSPECTION PORT PER ROW.
NOTE: CONTRACTOR MUST INSTALL THE STORM WATER CONTROL SYSTEM IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.

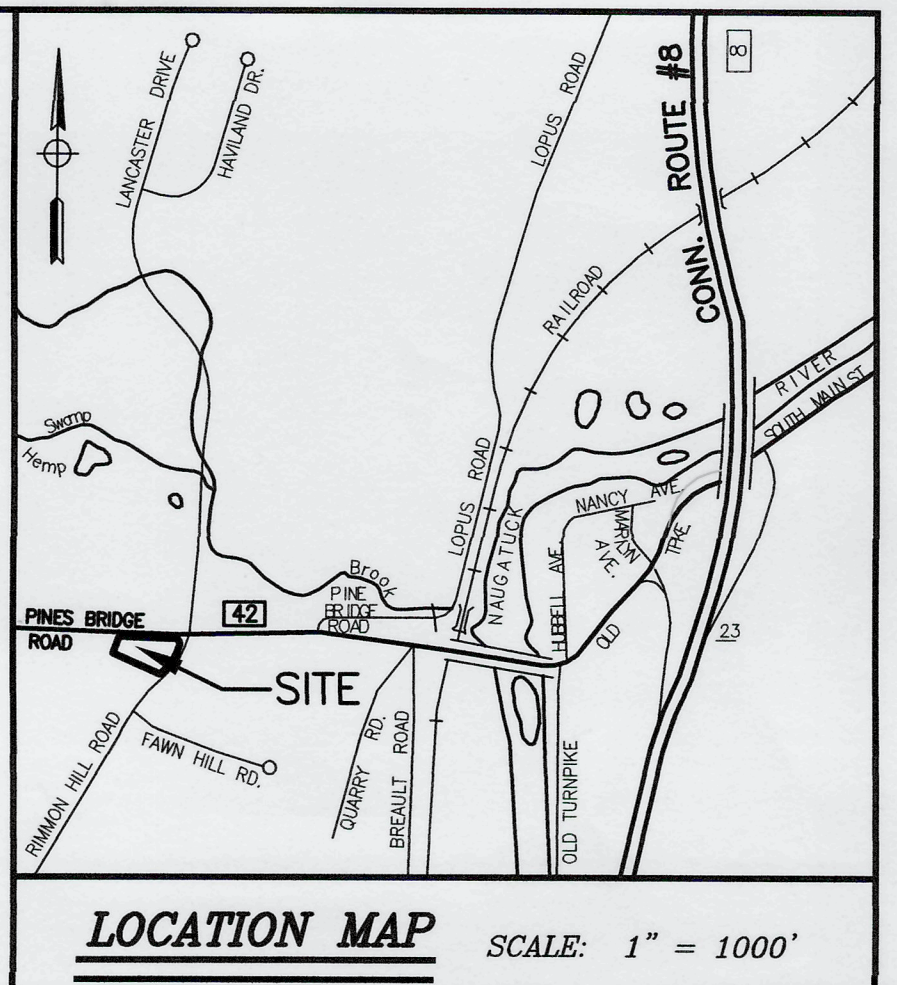
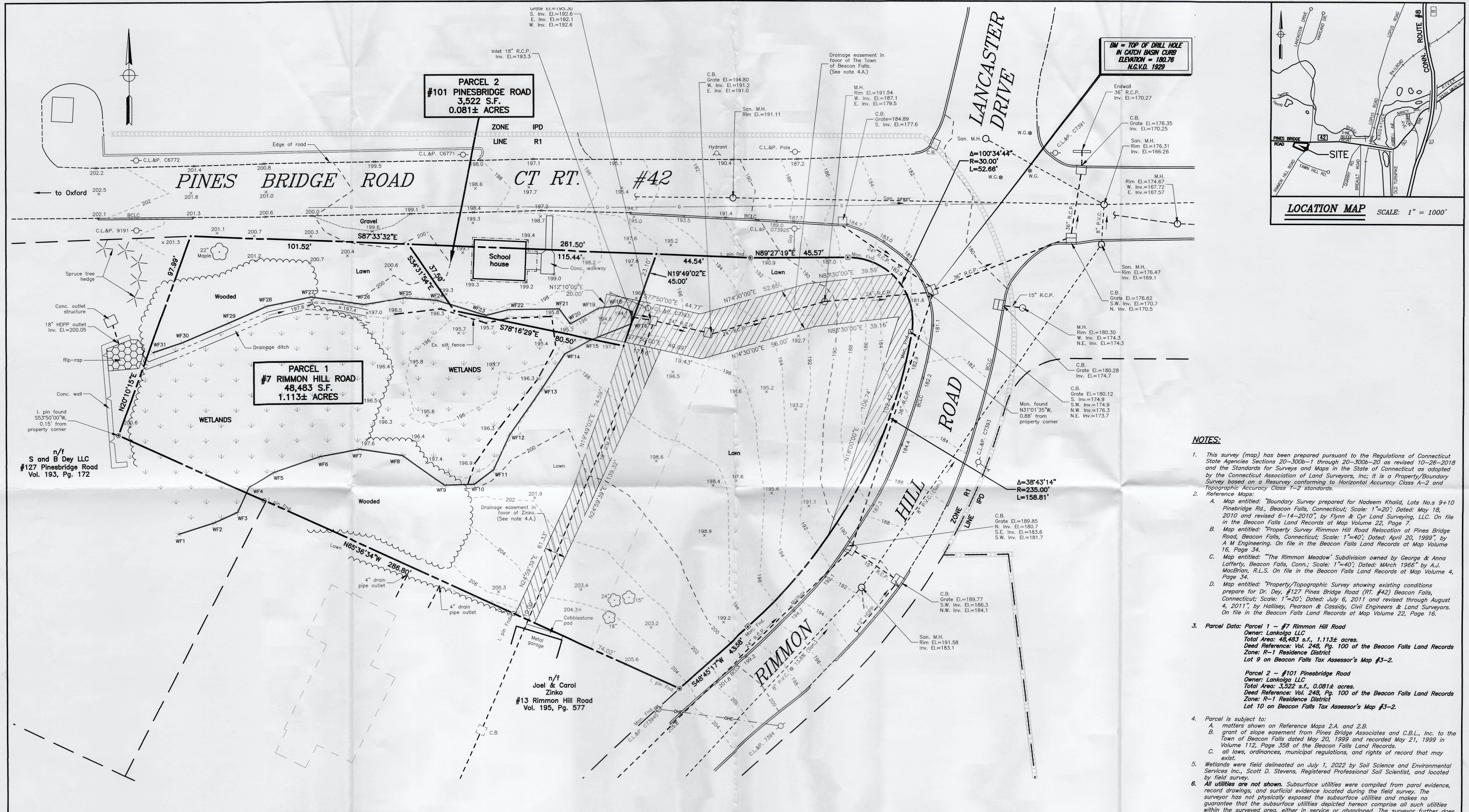
SUBSURFACE STORM WATER MANAGEMENT SYSTEM
NOT TO SCALE



REVISIONS			DETAILS	
NO.	DESCRIPTION	DATE		
			Scale: AS NOTED	
			Date: 11/1/2022	
			Sheet: 3 of 3	
			Checked By: J.T.J.	
			Drawn By: G.P.D.	
			F.B. No. 492 & 493	
			CAD No. d2540a.dwg	
			Disk: 46/10	
			Job No. D-2540a	

HORBAL & JUDSON
Land Surveyors & Associates
52 Main Street, Seymour, Connecticut (203)888-9660

EDWARD LEAVY, P.E.
10 Shelton Dr., Shelton CT. 06484
Phone (203) 929-0546



BM = TOP OF DRILL HOLE
IN CATCH BASIN CURB
ELEVATION = 180.76
N.G.V.D. 1929

PARCEL 2
#101 PINESBRIDGE ROAD
3,522 S.F.
0.081± ACRES

PARCEL 1
#7 RIMMON HILL ROAD
48,483 S.F.
1.113± ACRES

n/f
S and B Day LLC
#127 Pinesbridge Road
Vol. 193, Pg. 172

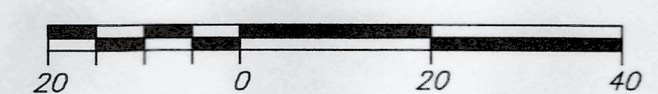
n/f
Joel & Carol
Zinko
#13 Rimmon Hill Road
Vol. 195, Pg. 577

NOTES:

- This survey (map) has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 as revised 10-26-2018 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc; it is a Property/Boundary Survey based on a Resurvey conforming to Horizontal Accuracy Class A-2 and Topographic Accuracy Class T-2 standards.
- Map entitled: "Boundary Survey prepared for Nadeem Khalid, Lots No.s 9+10 Pinebridge Rd., Beacon Falls, Connecticut; Scale: 1"=20'; Dated: May 18, 2010 and revised 6-14-2010"; by Flynn & Cyr Land Surveying, LLC. On file in the Beacon Falls Land Records at Map Volume 22, Page 7.
B. Map entitled: "Property Survey Rimmon Hill Road Relocation at Pines Bridge Road, Beacon Falls, Connecticut; Scale: 1"=40'; Dated: April 20, 1999"; by A.M. Engineering. On file in the Beacon Falls Land Records at Map Volume 16, Page 34.
C. Map entitled: "The Rimmon Meadow" Subdivision owned by George & Anna Lafferty, Beacon Falls, Conn.; Scale: 1"=40'; Dated: March 1966" by A.J. MacBrien, R.L.S. On file in the Beacon Falls Land Records at Map Volume 4, Page 34.
D. Map entitled: "Property/Topographic Survey showing existing conditions prepare for Dr. Day, #127 Pines Bridge Road (RT. #42) Beacon Falls, Connecticut; Scale: 1"=20'; Dated: July 6, 2011 and revised through August 4, 2011"; by Halley, Pearson & Cassidy, Civil Engineers & Land Surveyors. On file in the Beacon Falls Land Records at Map Volume 22, Page 16.
- Parcel Data: Parcel 1 - #7 Rimmon Hill Road
Owner: Lankolga LLC
Total Area: 48,483 s.f., 1.113± acres.
Deed Reference: Vol. 248, Pg. 100 of the Beacon Falls Land Records
Zone: R-1 Residence District
Lot 9 on Beacon Falls Tax Assessor's Map #3-2.
Parcel 2 - #101 Pinesbridge Road
Owner: Lankolga LLC
Total Area: 3,522 s.f., 0.081± acres.
Deed Reference: Vol. 248, Pg. 100 of the Beacon Falls Land Records
Zone: R-1 Residence District
Lot 10 on Beacon Falls Tax Assessor's Map #3-2.
- Parcel is subject to:
A. matters shown on Reference Maps 2.A. and 2.B.
B. grant of slope easement from Pines Bridge Associates and C.B.L., Inc. to the Town of Beacon Falls dated May 20, 1999 and recorded May 21, 1999 in Volume 112, Page 358 of the Beacon Falls Land Records.
C. all laws, ordinances, municipal regulations, and rights of record that may exist.
- Wetlands were field delineated on July 1, 2022 by Soil Science and Environmental Services Inc., Scott D. Stevens, Registered Professional Soil Scientist, and located by field survey.
- All utilities are not shown. Subsurface utilities were compiled from parcel evidence, record drawings, and surficial evidence located during the field survey. The surveyor has not physically exposed the subsurface utilities and makes no guarantee that the subsurface utilities depicted hereon comprise all such utilities within the surveyed area, either in service or abandoned. The surveyor further does not warrant or guarantee that the subsurface utilities are in the exact location depicted. Any contractors are required to utilize "call before you dig" one call system prior to any excavation for the purpose of verifying the subsurface utilities in the area.

LEGEND

Mon.	Monument	Found	Found
○	Iron Pipe	n/f	Now or Formerly
○	Iron Pin	6" W.W.F.	Woven Wire Fence w/ height
---	Property Line	w/	Roof leader
---	Adjacent Property Line	○ FLP	Flag pole
---	Fence	P.V.C.	Polyvinyl Chloride Pipe
---	Stone Wall	R.C.P.	Reinforced Concrete Pipe
---	Tree with D.B.H.	HDPF	High Density Plastic Pipe
---	Gas service location	C.M.P.	Corrugated Metal Pipe
---	Brush/tree line	C.I.P.	Cast Iron Pipe
---	Concrete Curb	el. or elev.	Elevation
---	Stormwater Sewer Pipe	BT	Bituminous
---	Underground Electric Wire	Conc.	Concrete
---	Overhead Utility Wires	Mas.	Masonry
---	Water main	BCLC	Bituminous Concrete Lip Curb
---	Gas main	CC	Concrete Curb
---	Sanitary Sewer Pipe	S.F.H.A.	Special Flood Hazard Areas
---	Wetlands	CBP	Concrete Block Patio
---	Wetland Boundary w/flag #	Typ.	Typical
---	Water line	Ex.	Existing
---	Flood Boundary		
---	Ledge or Rock		



THIS MAP IS NOT VALID WITHOUT SURVEYOR'S LIVE SIGNATURE AND EMBOSSED SEAL.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Jesse T. Judson Date: 10/3/2022
L.S. REG. NO. 70390

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REVISIONS			PROPERTY & TOPOGRAPHIC SURVEY	
NO.	DESCRIPTION	DATE	Scale: 1"=20'	
			Date: 10/3/2022	
			Sheet: 1 of 1	
			Checked By: J.T.J.	
			Drawn By: G.P.D.	
			F.B. No. 492 & 493	
			CAD No. d2540.dwg	
			Disk: 46/10	
			Job No. D-2540	

HORBAL & JUDSON
Land Surveyors & Associates
52 Main Street, Seymour, Connecticut (203)888-9660